

PROPOSAL PLAN

Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7251/2018/MAPDA/A

Date: 11 February 2026

Pedestrian link to be provided in accordance with Condition 6 - Footpath Plan

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LEGEND

- Study Area
- Major Contours (5.0m Intervals)
- Trunk Road Land Dedication
- Indicative Bin Pad location
- Bushfire Attack Level 12.5
- Bushfire Attack Level 19.0
- Bushfire Attack Level 29.0
- Bushfire Attack Level 40

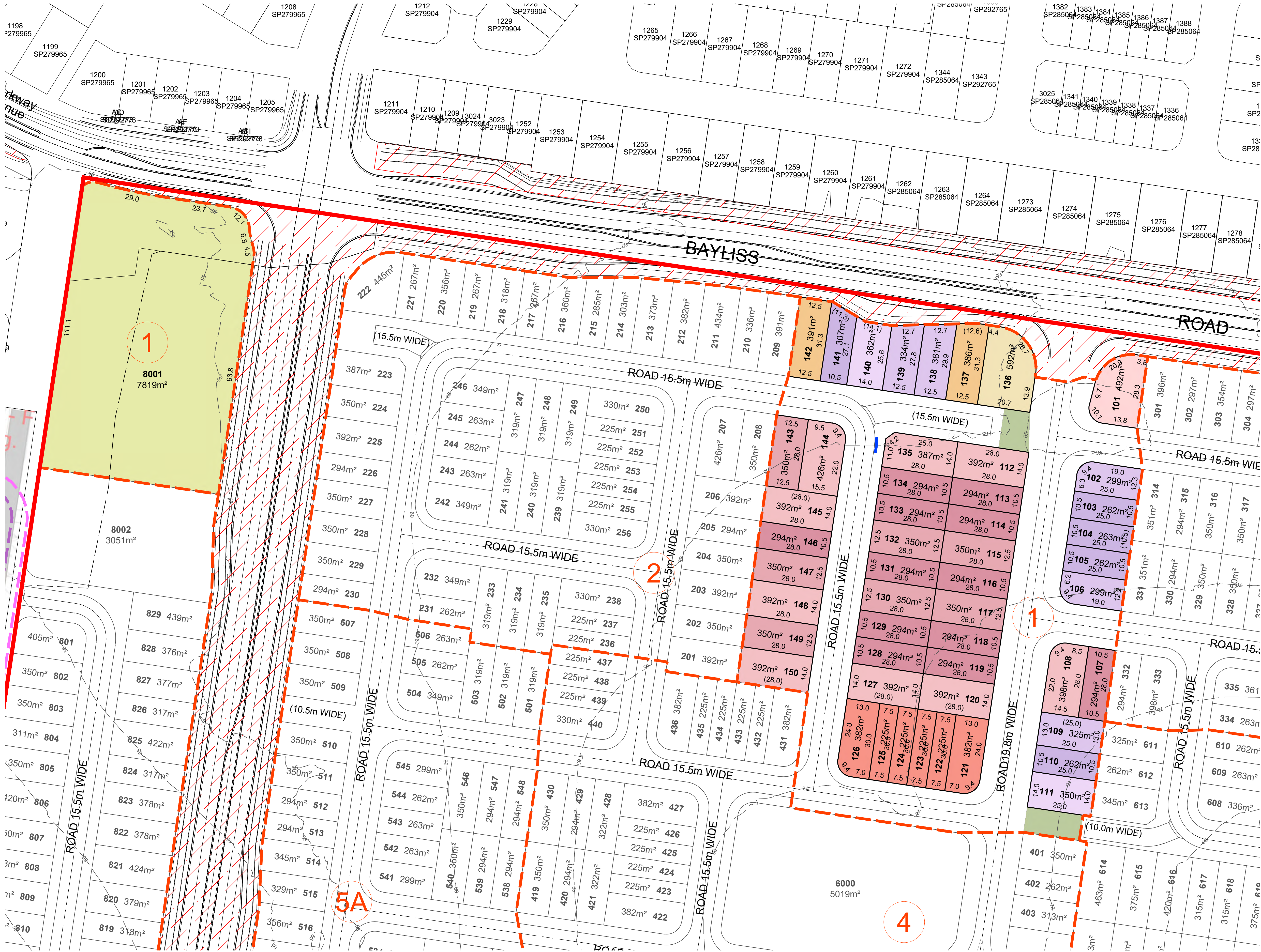
DEVELOPMENT STATISTICS

RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
25m Deep			
10.5 - 12.49m Frontage	31	8.3%	0.830 ha
12.5 - 13.99m Frontage	29	7.8%	0.921 ha
14.0 - 15.99m Frontage	16	4.3%	0.573 ha
16m+ Frontage	3	0.8%	0.135 ha
28m Deep			
10.5 - 12.49m Frontage	62	16.7%	1.836 ha
12.5 - 13.99m Frontage	53	14.2%	1.863 ha
14.0 - 15.99m Frontage	30	8.1%	1.187 ha
16m+ Frontage	4	1.1%	0.201 ha
30m+ Deep			
7.5 - 13m Frontage	44	11.8%	1.185 ha
10.5 - 12.49m Frontage	42	11.3%	1.341 ha
12.5 - 13.99m Frontage	38	10.2%	1.483 ha
14.0 - 15.99m Frontage	15	4.0%	0.681 ha
16m+ Frontage	5	1.3%	0.333 ha
Total Residential Allotments	372	100.0%	12.569 ha
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	21.986 ha		
Net Residential Area (no roads)	12.569 ha	57.2%	
Detention / Drainage	1.378 ha	6.3%	
Local Park	0.502 ha	0.0%	
Pedestrian Links	0.160 ha	0.0%	
Road Areas (Including Footpaths)	5.601 ha	25.5%	
Bayliss Road Upgrade	1.776 ha	8.1%	
Total	21.986 ha	100.0%	

SCALE @A1:1:1000 @A3:1:2000 - LENGTHS ARE IN METRES



PROPOSAL PLAN - STAGE 1



LEGEND

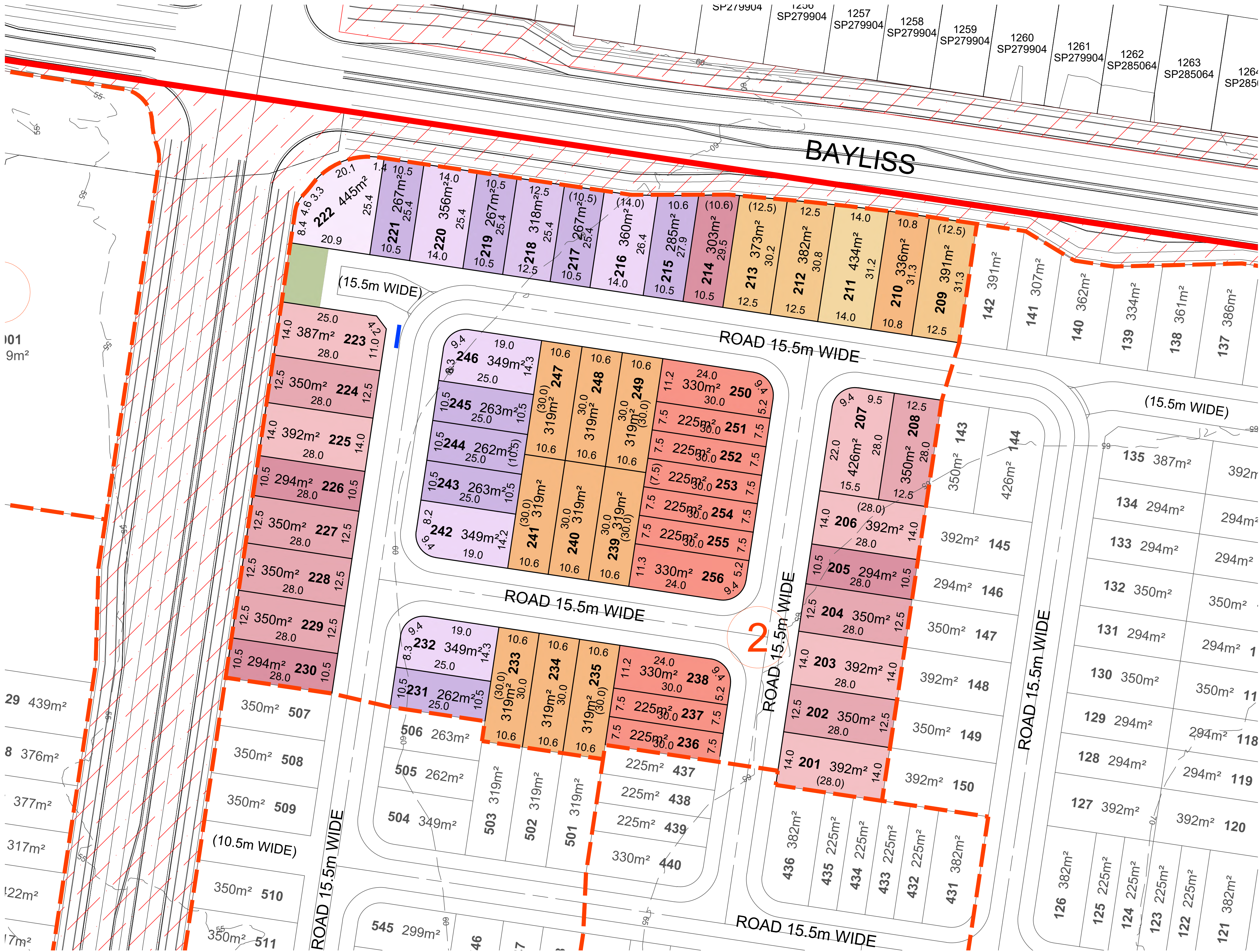
- Study Area
- Major Contours (5.0m Intervals)
- Trunk Road Land Dedication
- Indicative Bin Pad location

DEVELOPMENT STATISTICS - Stage 1			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
25m Deep			
10.5 - 12.49m Frontage	5	10.0%	0.136 ha
12.5 - 13.99m Frontage	5	10.0%	0.162 ha
14.0 - 15.99m Frontage	2	4.0%	0.071 ha
28m Deep			
10.5 - 12.49m Frontage	12	24.0%	0.353 ha
12.5 - 13.99m Frontage	7	14.0%	0.245 ha
14.0 - 15.99m Frontage	9	18.0%	0.356 ha
16m+ Frontage	1	2.0%	0.049 ha
30m+ Deep			
7.5 - 13m Frontage	6	12.0%	0.166 ha
12.5 - 13.99m Frontage	2	4.0%	0.078 ha
16m+ Frontage	1	2.0%	0.059 ha
Total Residential Allotments	50	100.0%	1.675 ha

Land Budget	Area (Ha)	%
Area of Subject Site / Stage	3.391 ha	—
Net Residential Area (no roads)	1.675 ha	49.4%
Detention / Drainage	0.782 ha	23.1%
Pedestrian Links	0.039 ha	1.2%
Road Areas (Including Footpaths)	0.895 ha	26.4%
Total	3.391 ha	100.0%



PROPOSAL PLAN - STAGE 2



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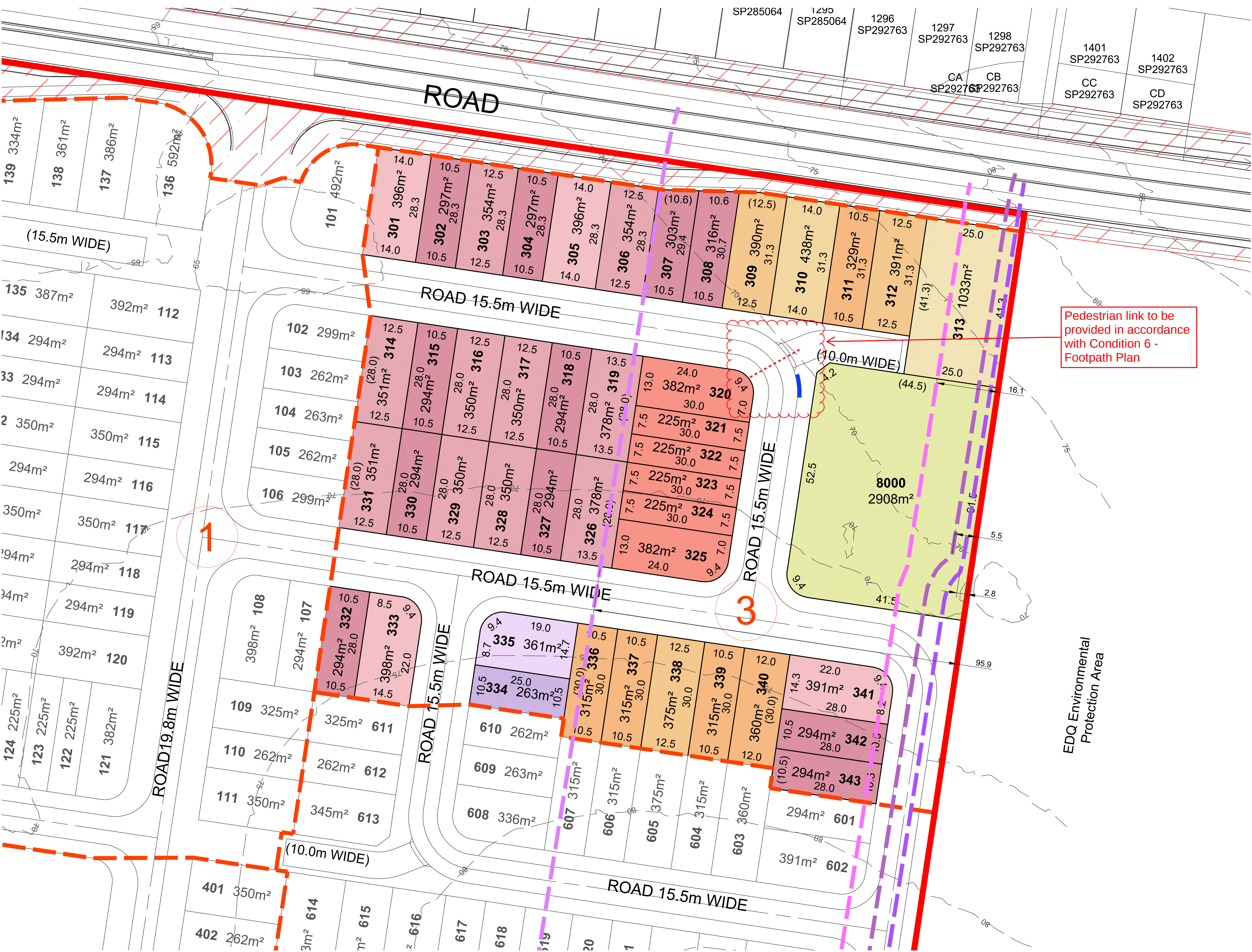
Date: 11 February 2026

- LEGEND
- Study Area
 - Major Contours (5.0m Intervals)
 - Trunk Road Land Dedication
 - Indicative Bin Pad location

DEVELOPMENT STATISTICS - Stage 2			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
25m Deep			
10.5 - 12.49m Frontage	8	14.3%	0.214 ha
12.5 - 13.99m Frontage	1	1.8%	0.032 ha
14.0 - 15.99m Frontage	5	8.9%	0.180 ha
16m+ Frontage	1	1.8%	0.045 ha
28m Deep			
10.5 - 12.49m Frontage	4	7.1%	0.118 ha
12.5 - 13.99m Frontage	7	12.5%	0.245 ha
14.0 - 15.99m Frontage	6	10.7%	0.238 ha
30m+ Deep			
7.5 - 13m Frontage	10	17.9%	0.256 ha
10.5 - 12.49m Frontage	10	17.9%	0.321 ha
12.5 - 13.99m Frontage	3	5.4%	0.115 ha
14.0 - 15.99m Frontage	1	1.8%	0.043 ha
Total Residential Allotments	56	100.0%	1.807 ha
Land Budget			
Area of Subject Site / Stage	2.527 ha	0.0%	
Net Residential Area (no roads)	1.807 ha	71.5%	
Pedestrian Links	0.015 ha	0.6%	
Road Areas (Including Footpaths)	0.705 ha	27.9%	
Total	2.527 ha	100.0%	



PROPOSAL PLAN - STAGE 3



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LEGEND

- Study Area
- Major Contours (5.0m Intervals)
- Trunk Road Land Dedication
- Indicative Bin Pad location
- Bushfire Attack Level 12.5
- Bushfire Attack Level 19.0
- Bushfire Attack Level 29.0
- Bushfire Attack Level 40

DEVELOPMENT STATISTICS - Stage 3			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
25m Deep			
10.5 - 12.49m Frontage	1	2.3%	0.026 ha
14.0 - 15.99m Frontage	1	2.3%	0.036 ha
28m Deep			
10.5 - 12.49m Frontage	11	25.6%	0.327 ha
12.5 - 13.99m Frontage	10	23.3%	0.357 ha
14.0 - 15.99m Frontage	4	9.3%	0.158 ha
30m+ Deep			
7.5 - 13m Frontage	6	14.0%	0.166 ha
10.5 - 12.49m Frontage	5	11.6%	0.163 ha
12.5 - 13.99m Frontage	3	7.0%	0.116 ha
14.0 - 15.99m Frontage	1	2.3%	0.044 ha
16m+ Frontage	1	2.3%	0.103 ha
Total Residential Allotments	43	100.0%	1.496 ha
Land Budget			
Area of Subject Site / Stage	2.434 ha	—	
Net Residential Area (no roads)	1.496 ha	61.5%	
Detention / Drainage	0.291 ha	12.0%	
Road Areas (Including Footpaths)	0.647 ha	26.6%	
Total	2.434 ha	100.0%	

SCALE @A1 1:500 @A3 1:1000 - LENGTHS ARE IN METRES

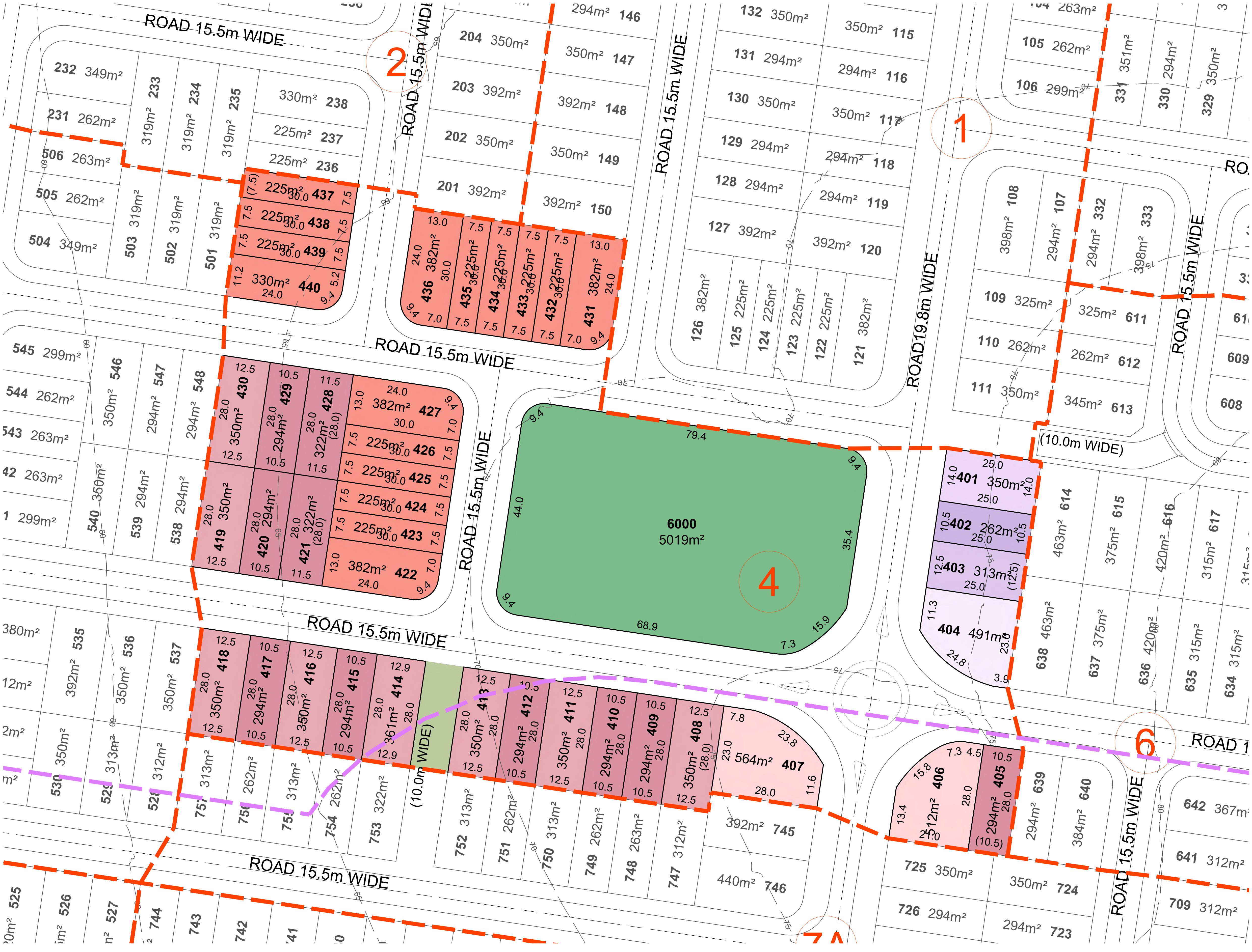


PROPOSAL PLAN - STAGE 4

Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

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Date: 11 February 2026



- LEGEND
- Study Area
 - Major Contours (5.0m Intervals)
 - Bushfire Attack Level 12.5

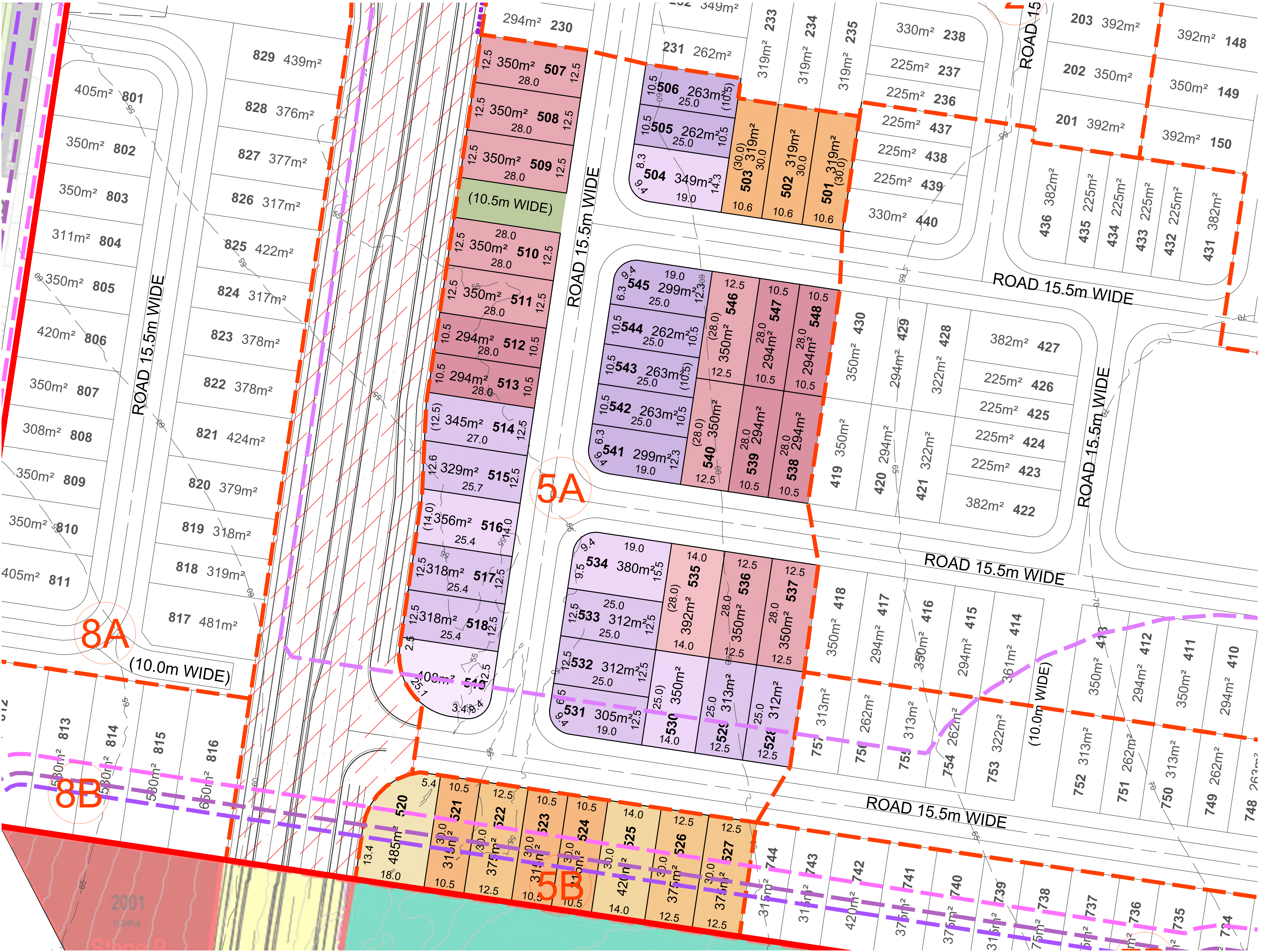
DEVELOPMENT STATISTICS - Stage 4			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
25m Deep			
10.5 - 12.49m Frontage	1	2.5%	0.026 ha
12.5 - 13.99m Frontage	1	2.5%	0.031 ha
14.0 - 15.99m Frontage	1	2.5%	0.035 ha
16m+ Frontage	1	2.5%	0.049 ha
28m Deep			
10.5 - 12.49m Frontage	10	25.0%	0.300 ha
12.5 - 13.99m Frontage	8	20.0%	0.281 ha
16m+ Frontage	2	5.0%	0.108 ha
30m+ Deep			
7.5 - 13m Frontage	16	40.0%	0.433 ha
Total Residential Allotments	40	100.0%	1.263 ha

Land Budget	Area (Ha)	%
Area of Subject Site / Stage	2.629 ha	—
Net Residential Area (no roads)	1.263 ha	48.0%
Local Park	0.502 ha	19.1%
Pedestrian Links	0.028 ha	1.1%
Road Areas (Including Footpaths)	0.836 ha	31.8%
Total	2.629 ha	100.0%

SCALE @A1 1:500 @A3 1:1000 - LENGTHS ARE IN METRES



PROPOSAL PLAN - STAGE 5



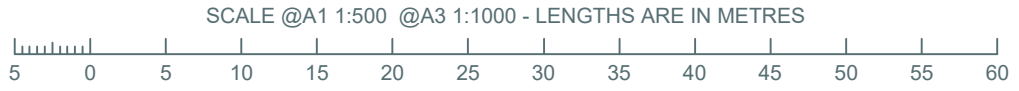
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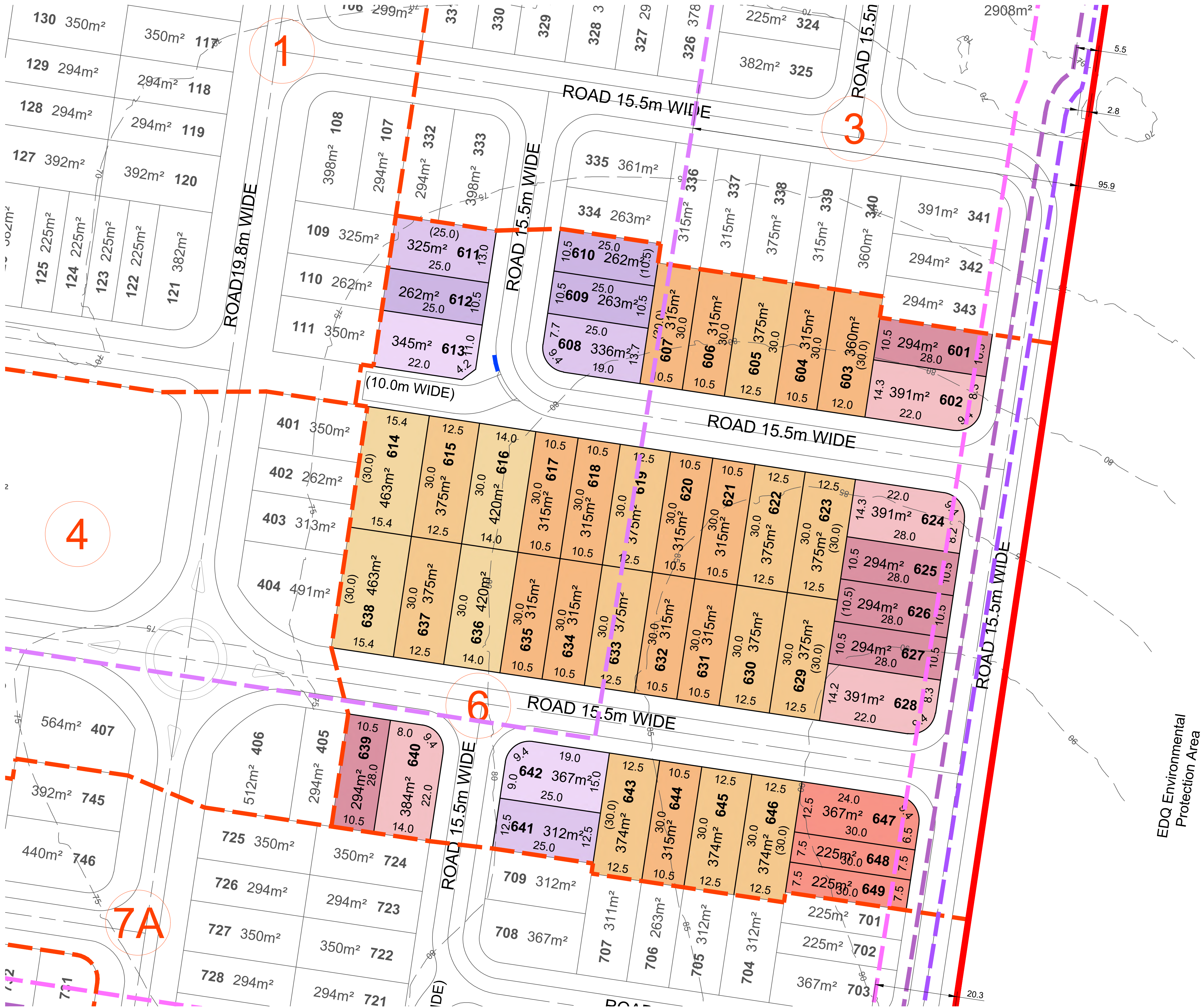
Date: 11 February 2026

- LEGEND
- Study Area
 - Major Contours (5.0m Intervals)
 - Trunk Road Land Dedication
 - Bushfire Attack Level 12.5
 - Bushfire Attack Level 19.0
 - Bushfire Attack Level 29.0
 - Bushfire Attack Level 40

DEVELOPMENT STATISTICS - Stage 5			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
25m Deep			
10.5 - 12.49m Frontage	7	14.6%	0.191 ha
12.5 - 13.99m Frontage	9	18.8%	0.286 ha
14.0 - 15.99m Frontage	4	8.3%	0.143 ha
16m+ Frontage	1	2.1%	0.041 ha
28m Deep			
10.5 - 12.49m Frontage	6	12.5%	0.176 ha
12.5 - 13.99m Frontage	9	18.8%	0.315 ha
14.0 - 15.99m Frontage	1	2.1%	0.039 ha
30m+ Deep			
10.5 - 12.49m Frontage	6	12.5%	0.190 ha
12.5 - 13.99m Frontage	3	6.3%	0.113 ha
14.0 - 15.99m Frontage	1	2.1%	0.042 ha
16m+ Frontage	1	2.1%	0.049 ha
Total Residential Allotments	48	100.0%	1.585 ha
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	2.221 ha		
Net Residential Area (no roads)	1.585 ha	71.4%	
Pedestrian Links	0.029 ha	1.3%	
Road Areas (Including Footpaths)	0.607 ha	27.3%	
Total	2.221 ha	100.0%	



PROPOSAL PLAN - STAGE 6



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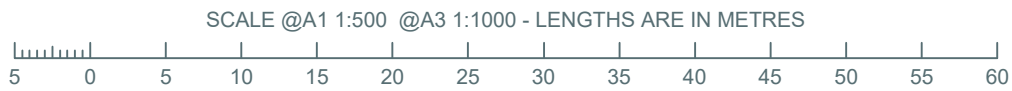
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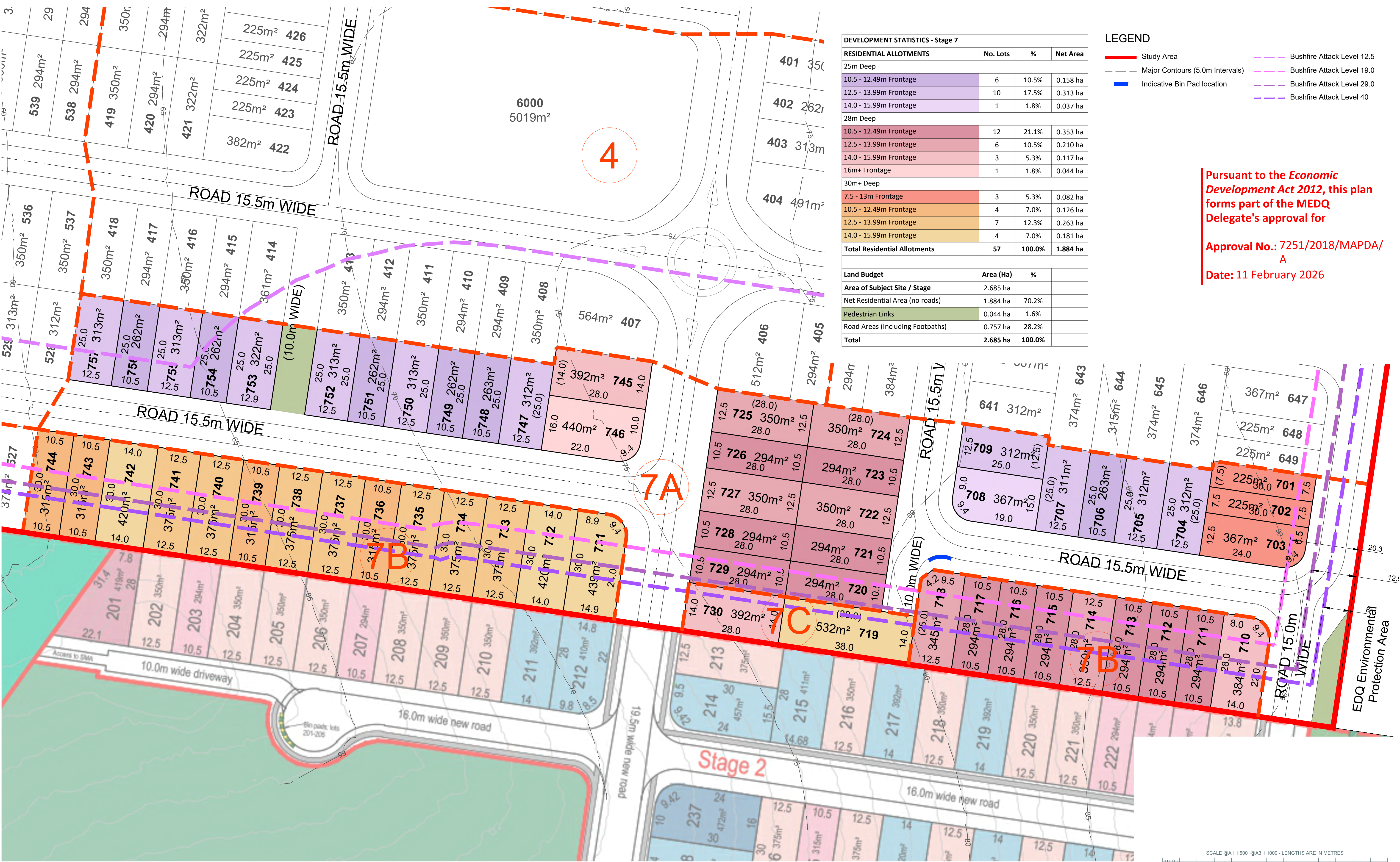
LEGEND

- Study Area
- Major Contours (5.0m Intervals)
- Indicative Bin Pad location
- Bushfire Attack Level 12.5
- Bushfire Attack Level 19.0
- Bushfire Attack Level 29.0
- Bushfire Attack Level 40

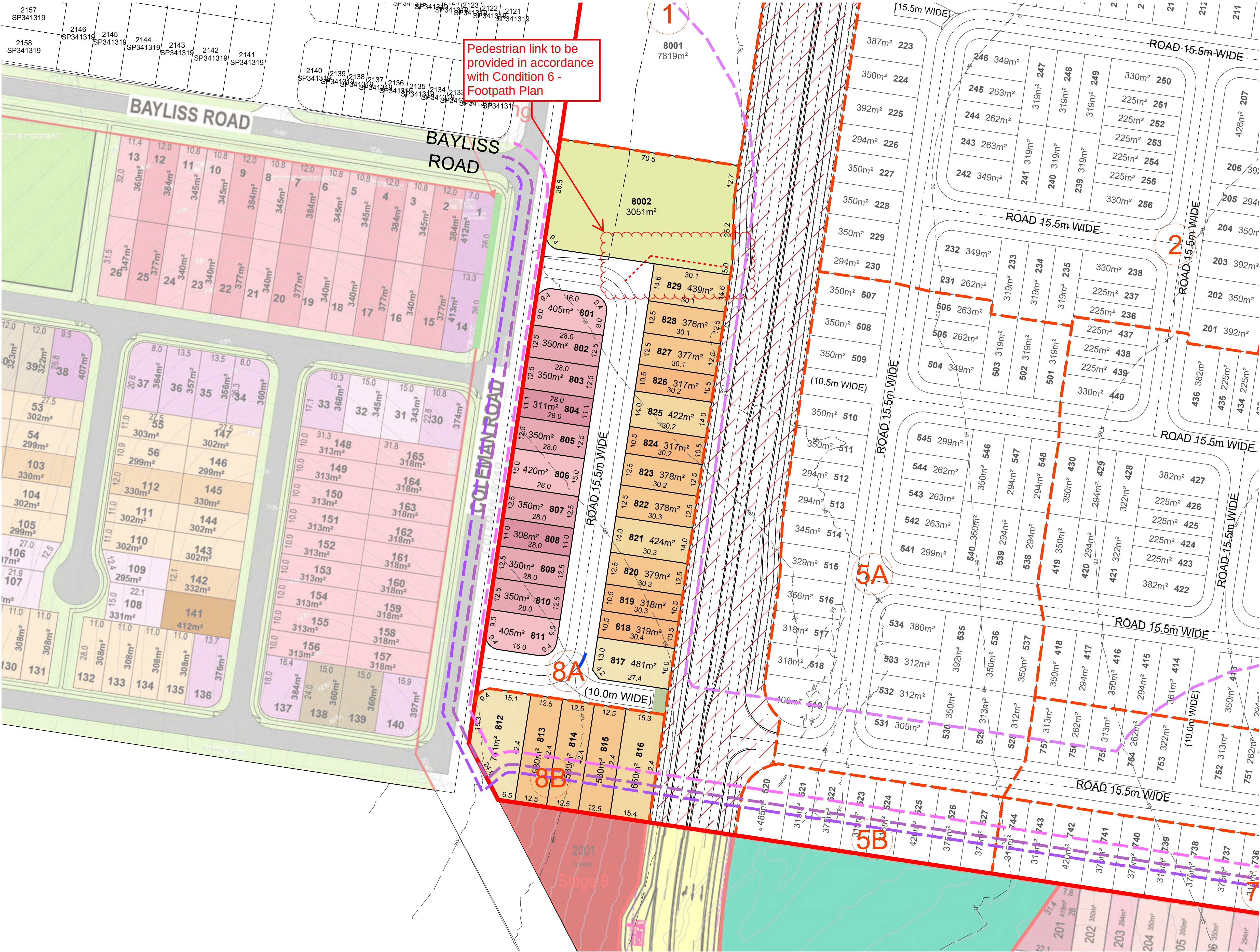
DEVELOPMENT STATISTICS - Stage 6			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
25m Deep			
10.5 - 12.49m Frontage	3	6.1%	0.079 ha
12.5 - 13.99m Frontage	3	6.1%	0.097 ha
14.0 - 15.99m Frontage	2	4.1%	0.071 ha
28m Deep			
10.5 - 12.49m Frontage	5	10.2%	0.147 ha
14.0 - 15.99m Frontage	4	8.2%	0.156 ha
30m+ Deep			
7.5 - 13m Frontage	3	6.1%	0.082 ha
10.5 - 12.49m Frontage	13	26.5%	0.414 ha
12.5 - 13.99m Frontage	12	24.5%	0.450 ha
14.0 - 15.99m Frontage	4	8.2%	0.177 ha
Total Residential Allotments	49	100.0%	1.673 ha
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	2.442 ha		
Net Residential Area (no roads)	1.673 ha	68.5%	
Road Areas (Including Footpaths)	0.769 ha	31.5%	
Total	2.442 ha	100.0%	



PROPOSAL PLAN - STAGE 7



PROPOSAL PLAN - STAGE 8



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LEGEND

- Study Area
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- Indicative Bin Pad location
- Bushfire Attack Level 12.5
- Bushfire Attack Level 19.0
- Bushfire Attack Level 29.0
- Bushfire Attack Level 40
- Pedestrian links mark up

DEVELOPMENT STATISTICS - Stage 8			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
28m Deep			
10.5 - 12.49m Frontage	2	6.9%	0.062 ha
12.5 - 13.99m Frontage	6	20.7%	0.210 ha
14.0 - 15.99m Frontage	3	10.3%	0.123 ha
30m+ Deep			
10.5 - 12.49m Frontage	4	13.8%	0.127 ha
12.5 - 13.99m Frontage	8	27.6%	0.348 ha
14.0 - 15.99m Frontage	4	13.8%	0.194 ha
16m+ Frontage	2	6.9%	0.122 ha
Total Residential Allotments	29	100.0%	1.186 ha
Land Budget			
Area of Subject Site / Stage	1.881 ha	%	
Net Residential Area (no roads)	1.186 ha	63.1%	
Detention / Drainage	0.305 ha	16.2%	
Pedestrian Links	0.005 ha	0.3%	
Road Areas (Including Footpaths)	0.385 ha	20.5%	
Total	1.881 ha	100.0%	



NOTES:

General

1. All development is to be undertaken in accordance with the Development Approval.
2. The maximum height of buildings shall not exceed two (2) storeys.
3. Building height is measured from natural ground level (to avoid any doubt, natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered).
4. Maximum building location envelopes may be subject to future proposed easements and/or other underground services.
5. A lot can have only one primary frontage. Primary frontages are nominated on this Plan of Development, being the indicative driveway location, or as shown on the POD
6. For corner lots, no building or structure over 2 metres high is to be built within a 4m x 4m truncation at the corner of two road frontages.
7. Where allotments are so marked on the Plan of Development, residential buildings must be designed and constructed to comply with the acoustic report.

Setbacks

8. Boundary setbacks are measured to the wall of the structure.
9. Setbacks are as per the Plan of Development Table unless otherwise specified.
10. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted, side setbacks shall be in accordance with the Plan of Development Table unless otherwise specified in these notes.
11. If a built to boundary wall is constructed, it must be constructed on the boundary nominated in this Plan of Development.
12. Maximum length of a built-to-boundary wall is 15 meters long or 50% of the depth of the lot (whichever is lesser).
13. First floor setbacks must not encroach the minimum ground floor setbacks.
14. Garages must not project forward of the front building setback.
15. Eaves setbacks not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.
16. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured.
17. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage.
18. Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m

General

1. All

2. The maximum height of buildings shall not exceed two (2) storeys.
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16. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured.
17. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage.
18. Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m

On-Site parking and Driveways

19. Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one of which must be capable of being covered (may be provided in tandem).
19. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
20. All double garages must be setback behind the main face of the dwelling, with doors articulated, compromising a mix of materials and colours, or staggered.
21. Garages are to be located along the Built to Boundary line and, where No Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side, garages are to be located on the western or southern side of the lot.
22. Maximum of one driveway per dwelling unless it is a corner lot where the minimum distance required in note 23 can be achieved and no retaining walls are present.
23. Minimum distance of a driveway from an intersection of one street with another street is 6.0 meters.
24. Double garages are permitted on lots with a frontage 12.5m or greater.
25. Double garages are only permitted on lots with a frontage less than 10m where the dwelling is more than 1 storey.

Private Open Space

26. Private open space is to be provided in accordance with the following requirements:

- Two bedroom house/dwelling unit – minimum 9m² with a minimum dimension of 2.4m
- Three of more bedroom house/dwelling – minimum 12m² with a minimum dimension 2.4m

25. Private open space must be in accordance with the following requirements:

- Accessible from a living room; and
- Adequate space to accommodate a table, chair, planting, barbeque and shade; and
- Maximum gradient not exceeding 1:10.

Street Address

26. Letterboxes must be clearly visible and identifiable from street.
27. Buildings must address each primary street frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related façade:
 - Verandahs; and/or
 - Porches; and/or
 - Awning and shade structures; and/or
 - Variation to roof and building lines; and/or
 - Use of varying building materials.
28. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade; and/or
 - Balconies, porches or verandah; and/or
 - Window Hoods/Screens; and/or
 - Shadow lines are created on the building through minor changes in the façade (100 millimetres minimum).
29. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.

Fencing

30. Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
31. Fencing on all primary frontages has a maximum height of 1.2 metres where solid or has a maximum height of 1.8 metres where containing openings that make the fence at least 50% transparent. Fencing on all secondary frontages has a maximum height of 1.8 where containing openings that make the fence at least 25% transparent.
32. Fencing of pedestrian walkways are to have a maximum height of 1.2m where solid or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Bushfire Management

33. Lots may be subject to bushfire hazard requiring compliance with a relevant Australian Standard
34. The Plan of Development includes BAL ratings for affected lots (supplied by Bushfire Risk Reducers). Notwithstanding the BAL ratings shown on this plan, it is recommended that lot specific advice be sought prior to the commencement of design.
35. The BAL contours shown are valid until the adjacent vegetation is cleared for proposed developments
36. Where a dwelling and any other structures within 6m of the residence, encroach into BAL 19 area, it must be constructed in accordance with the recommendations in the Bushfire Management Plan prepared by Bushfire Risk Reducers dated 4th November 2025

Additional Criteria for Secondary Dwellings

37. Design criteria for Secondary Dwellings is as per Schedule 3 of the Ripley Valley Development Scheme.

Additional Criteria for Lots Fronting Bayliss Road and (new) Coleman Road

38. Requirements for 'street address' as outlined in item 27 of this Plan of Development apply to the primary frontages noted on the POD.
39. Frontage treatments are to extend for a minimum of 50% of the width of the facade and windows/glazing must occupy at least 25% of the facade area.
40. Dwellings include provision for pedestrian access to Bayliss Road by way of a gate to the nominated primary frontage.
41. Unless an alternate solution is approved by the assessment manager the maximum 1.5 metre high surveillance fence with a minimum of 50% transparency along the common boundary with nominated primary frontage. Retaining walls associated with any fencing is to be located entirely within the residential lots.

Additional Criteria for Lots Adjoining Public Open Space

42. Lots with a common boundary to public open space (being park, drainage or pedestrian pathway) provide for passive surveillance/overlooking of the open space by inclusion of two of the following design elements:

- Habitable room windows facing the open space; or
- For double storey dwellings, balconies overlooking the open space; or
- For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space; or
- Aluminium pool fencing to the common boundary with the open space.

Acoustic Affected Lots

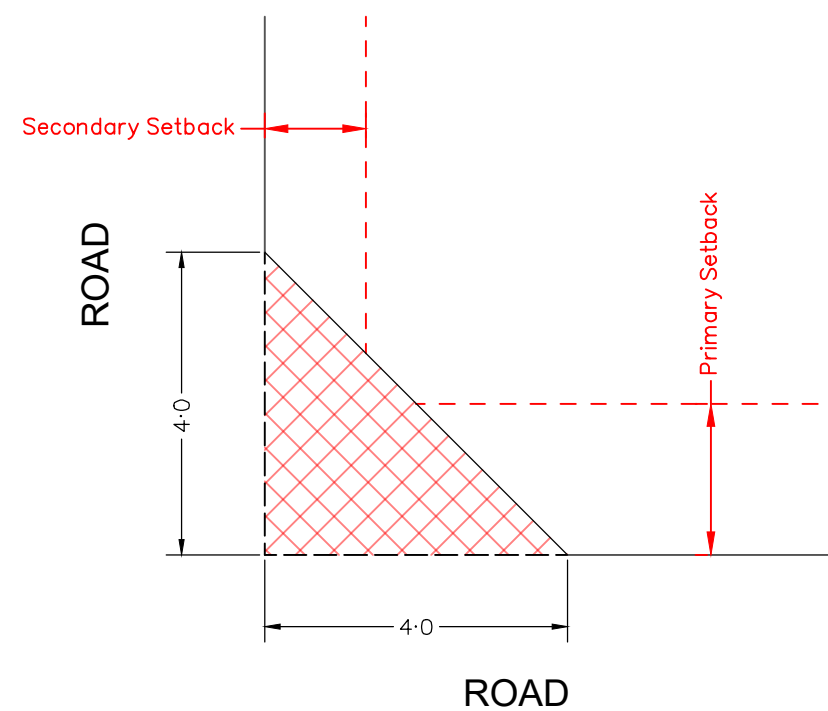
43. All acoustic affected lots must comply with the recommendations outlined of the Road Traffic Noise Assessment, prepared by Colliers, dated 28/08/25 (25BR4193 R01_0).

- Category 3 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989 and the internal sound levels of AS2107-2016, once plans are available, to determine if acoustic facade upgrades are required.
- Category 2 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989, where either the ground and/or first floor include lightweight external wall materials (e.g., fibrous cement rendered polystyrene, profiled metal) or features full-glass facades, such as fully glazed walls separating living spaces from all fresco areas.

SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS

LEGEND

-  Study Area
 Major Contours (5.0m Intervals)
 Trunk Road Land Dedication
 Primary Frontage
 Indicative Bin Pad location
 Mandatory Built to Boundary Wall location
 Optional Built to Boundary Wall location
 Indicative Driveway Location
 Cat 3 Acoustic Impact Lots
 Cat 2 Acoustic Impact Lots



PLAN OF DEVELOPMENT TABLE	Terrace 7.5m+ Frontage		Villa 10.5m - < 12.5m Frontage		Premium Villa 12.5 - < 14.0m Frontage		Courtyard 14.0m - < 16.0m Frontage		Traditional > 16.0m Frontage & Irregular Lots	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front / Primary Frontage *	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*
Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m
Side - Setbacks										
Built to Boundary	0.0m Mandatory	0m	0.0m Mandatory	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.2m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Park / Drainage Reserve **	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m
Site Coverage (Maximum)	75%		70%		65%		65%		65%	
* 2.4m setback permitted to enclosed entry features such as porches, porticos, verandas and balconies ** 0m setback permitted to enclosed verandas and balconies										

Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

**Approval No.: 7251/2018/MAPDA/
A**

Date: 11 February 2026

SCALE @A1 1:750 @A3 1:1500 - LENGTHS ARE IN METRES

DISCLAIMER

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SOURCE

PROJECTION: SURVEY COORDINATES (17 0322 103-175 Bayliss Road, South Ripley DTM 3D)
SUBJECT BOUNDARIES: SURVEY FROM WOLTER CONSULTING GROUP DATED (28/11/2017 (17 0322 103-175 BAYLISS ROAD, SOUTH RIPLEY DTM 3D)
CONTOURS: SURVEY BY WOLTER CONSULTING GROUP DATED 28/11/2017 (17 0322 103-175 BAYLISS ROAD, SOUTH RIPLEY DTM 3D)
STATE OVERLAYS: QUEENSLAND GOVERNMENT



CLIENT

HB LAND PTY LTD

SITE ADDRESS	DRAWN	CHECKED	DATE
BAYLISS ROAD, SOUTH RIPLEY	JC	FK	12/12/2025
RP DESCRIPTION	DRAWING NO.		
Lot 7 on RP836942, Lot 78 on SP308008	12186 P 06 Rev K - POD 01		



PLAN OF DEVELOPMENT - STAGE 2

NOTES:

General

1. All development is to be undertaken in accordance with the Development Approval.
2. The maximum height of buildings shall not exceed two (2) storeys.
3. Building height is measured from natural ground level (to avoid any doubt, natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered).
4. Maximum building location envelopes may be subject to future proposed easements and/or other underground services.
5. A lot can have only one primary frontage. Primary frontages are nominated on this Plan of Development, being the indicative driveway location, or as shown on the POD
6. For corner lots, no building or structure over 2 metres high is to be built within a 4m x 4m truncation at the corner of two road frontages
7. Where allotments are so marked on the Plan of Development, residential buildings must be designed and constructed to comply with the acoustic report.

Setbacks

8. Boundary setbacks are measured to the wall of the structure.
9. Setbacks are as per the Plan of Development Table unless otherwise specified.
10. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted, side setbacks shall be in accordance with the Plan of Development Table unless otherwise specified in these notes.
11. If a built to boundary wall is constructed, it must be constructed on the boundary nominated in this Plan of Development.
12. Maximum length of a built-to-boundary wall is 15 meters long or 50% of the depth of the lot (whichever is lesser).
13. First floor setbacks must not encroach the minimum ground floor setbacks.
14. Garages must not project forward of the front building setback.
15. Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
- Primary Street frontage, where eaves should not be closer than 2400mm.
16. Houses must be wholly located within the subject lot unless appropriate encroachment

rights are secured.

17. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage.
18. Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m

On-Site parking and Driveways

19. Off street car park is to be provided in accordance with the following minimum requirements:
- One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one of which must be capable of being covered (may be provided in tandem).
19. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
20. All double garages must be setback behind the main face of the dwelling, with doors articulated, compromising a mix of materials and colours, or staggered.
21. Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side, garages are to be located on the western or southern side of the lot.
22. Maximum of one driveway per dwelling unless it is a corner lot where the minimum distance required in note 23 can be achieved and no retaining walls are present.
23. Minimum distance of a driveway from an intersection of one street with another street is 6.0 meters.
24. Double garages are permitted on lots with a frontage 12.5m or greater.
25. Double garages are only permitted on lots with a frontage less than 10m where the dwelling is more than 1 storey.

Private Open Space

26. Private open space is to be provided in accordance with the following requirements:
- Two bedroom house/dwelling unit – minimum 9m² with a minimum dimension of 2.4m;
 - Three of more bedroom house/dwelling – minimum 12m² with a minimum dimension 2.4m
25. Private open space must be in accordance with the following requirements:
- Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

26. Letterboxes must be clearly visible and identifiable from street.
27. Buildings must address each primary street frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related façade:
- Verandahs; and/or
 - Porches; and/or
 - Awning and shade structures; and/or
 - Variation to roof and building lines; and/or
 - Use of varying building materials.
28. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
- Windows recessed into the façade; and/or
 - Balconies, porches or verandah; and/or
 - Window Hoods/Screens; and/or
 - Shadow lines are created on the building through minor changes in the façade (100 millimetres minimum).

29. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.

Fencing

30. Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
31. Fencing on all primary frontages has a maximum height of 1.2 metres where solid or has a maximum height of 1.8 metres where containing openings that make the fence at least 50% transparent. Fencing on all secondary frontages has a maximum height of 1.8 where containing openings that make the fence at least 25% transparent.
32. Fences on pedestrian linkages are to have a maximum height of 1.2m where solid or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Bushfire Management

33. Lots may be subject to bushfire hazard requiring compliance with a relevant Australian Standard
34. The Plan of Development includes BAL ratings for affected lots (supplied by Bushfire Risk Reducers). Notwithstanding the BAL ratings shown on this plan, it is recommended that lot specific advice be sought prior to the commencement of design.
35. The BAL contours shown are valid until the adjacent vegetation is cleared for proposed developments
36. Where a dwelling and any other structures within 6m of the residence, encroach into BAL 19 area, it must be constructed in accordance with the recommendations in the Bushfire Management Plan prepared by Bushfire Risk Reducers dated 4th November 2025

Additional Criteria for Secondary Dwellings

37. Design criteria for Secondary Dwellings is as per Schedule 3 of the Ripley Valley Development Scheme.

Additional Criteria for Lots Fronting Bayliss Road and (new) Coleman Road

38. Requirements for 'street address' as outlined in item 27 of this Plan of Development apply to the primary frontages noted on the POD.
39. Frontage treatments are to extend for a minimum of 50% of the width of the facade and windows/glazing must occupy at least 25% of the facade area.
40. Dwellings include provision for pedestrian access to Bayliss Road by way of a gate to the nominated primary frontage.
41. Unless an alternate solution is approved by the assessment manager the a maximum 1.5 metre high surveillance fence with a minimum of 50% transparency along the common boundary with nominated primary frontage. Retaining walls associated with any fencing is to be located entirely within the residential lots.

Additional Criteria for Lots Adjoining Public Open Space

42. Lots with a common boundary to public open space (being park, drainage or pedestrian pathway) provide for passive surveillance/overlooking of the open space by inclusion of two of the following design elements:
- Habitable room windows facing the open space; or
 - For double storey dwellings, balconies overlooking the open space; or
 - For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space; or
 - Aluminium pool fencing to the common boundary with the open space.

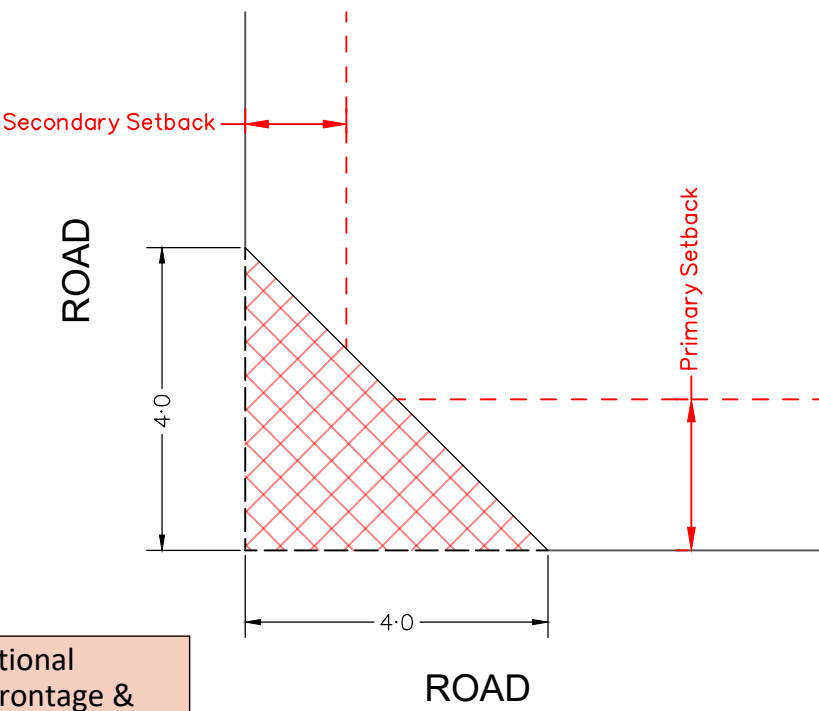
Acoustic Affected Lots

43. All acoustic affected lots must comply with the recommendations outlined of the Road Traffic Noise Assessment, prepared by Colliers, dated 28/08/25 (25BRA0139 R01_0).
- Category 3 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989 and the internal sound levels of AS2107-2016, once plans are available, to determine if acoustic facade upgrades are required.
 - Category 2 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989, where either the ground and/or first floor include lightweight external wall materials (e.g., fibrous cement rendered polystyrene, profiled metal) or features full-glass facades, such as fully glazed walls separating living spaces from al fresco areas.

LEGEND

- Study Area
- Major Contours (5.0m Intervals)
- Trunk Road Land Dedication
- Primary Frontage
- Indicative Bin Pad location
- Mandatory Built to Boundary Wall location
- Optional Built to Boundary Wall location
- Indicative Driveway Location
- Cat 3 Acoustic Impact Lots
- Cat 2 Acoustic Impact Lots

SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS



Pursuant to the **Economic Development Act 2012**, this plan forms part of the **MEDQ Delegate's approval** for

Approval No.: 7251/2018/MAPDA/
A
Date: 11 February 2026

PLAN OF DEVELOPMENT TABLE	Terrace 7.5m+ Frontage		Villa 10.5m - < 12.5m Frontage		Premium Villa 12.5 - < 14.0m Frontage		Courtyard 14.0m - < 16.0m Frontage		Traditional > 16.0m Frontage & Irregular Lots	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front / Primary Frontage *	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*
Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m
Side - Setbacks										
Built to Boundary	0.0m Mandatory	0m	0.0m Mandatory	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m
Non Built to Bundry	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.2m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Park / Drainage Reserve **	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m
Site Coverage (Maximum)	75%		70%		65%		65%		65%	
* 2.4m setback permitted to enclosed entry features such as porches, porticos, verandas and balconies										
** 0m setback permitted to enclosed verandas and balconies										

SCALE @A1 1:500 @A3 1:1000 - LENGTHS ARE IN METRES

5 0 5 10 15 20 25 30 35 40 45 50 55 60

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STATE OVERLAYS: QUEENSLAND GOVERNMENT



CLIENT

HB LAND PTY LTD

SITE ADDRESS

BAYLISS ROAD, SOUTH RIPLEY

RP DESCRIPTION

Lot 7 on RP836942, Lot 78 on SP308008

DRAWN

JC

CHECKED

FK

DATE

12/12/2025

DRAWING NO.

12186 P 06 Rev K - POD 02



PLAN OF DEVELOPMENT - STAGE 3

- NOTES:
General
1. All development is to be undertaken in accordance with the Development Approval.

2. The maximum height of buildings shall not exceed two (2) storeys.

3. Building height is measured from natural ground level (to avoid any doubt, natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered).

4. Maximum building location envelopes may be subject to future proposed easements and/or other underground services.

5. A lot can have only one primary frontage. Primary frontages are nominated on this Plan of Development, being the indicative driveway location, or as shown on the POD

6. For corner lots, no building or structure over 2 metres high is to be built within a 4m x 4m truncation at the corner of two road frontages.

7. Where allotments are so marked on the Plan of Development, residential buildings must be designed and constructed to comply with the acoustic report.

Setbacks

8. Boundary setbacks are measured to the wall of the structure.

9. Setbacks are as per the Plan of Development Table unless otherwise specified.

10. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted, side setbacks shall be in accordance with the Plan of Development Table unless otherwise specified in these notes.

11. If a built to boundary wall is constructed, it must be constructed on the boundary nominated in this Plan of Development.

12. Maximum length of a built-to-boundary wall is 15 metres long or 50% of the depth of the lot (whichever is lesser).

13. First floor setbacks must not encroach the minimum ground floor setbacks.

14. Garages must not project forward of the front building setback.

15. Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.

16. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured.

17. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage.

18. Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m
- On-Site parking and Driveways
19. Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one of which must be capable of being covered (may be provided in tandem).

20. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.

21. All double garages must be setback behind the main face of the dwelling, with doors articulated, compromising a mix of materials and colours, or staggered.

22. Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side, garages are to be located on the western or southern side of the lot.

23. Maximum of one driveway per dwelling unless it is a corner lot where the minimum distance required in note 23 can be achieved and no retaining walls are present.

24. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres.

25. Double garages are permitted on lots with a frontage 12.5m or greater.

26. Double garages are only permitted on lots with a frontage less than 10m where the dwelling is more than 1 storey.
- Private Open Space
26. Private open space is to be provided in accordance with the following requirements:
 - Two bedroom house/dwelling unit – minimum 9m² with a minimum dimension of 2.4m;
 - Three of more bedroom house/dwelling – minimum 12m² with a minimum dimension 2.4m

25. Private open space must be in accordance with the following requirements:
 - Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.
- Street Address
26. Letterboxes must be clearly visible and identifiable from street.

27. Buildings must address each primary street frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - Verandahs; and/or
 - Porches; and/or
 - Awning and shade structures; and/or
 - Variation to roof and building lines; and/or
 - Use of varying building materials.
28. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade; and/or
 - Balconies, porches or verandah; and/or
 - Window Hoods/Screens; and/or
 - Shadow lines are created on the building through minor changes in the façade (100 millimetres minimum).

29. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- Fencing
30. Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.

31. Fencing on all primary frontages has a maximum height of 1.2 metres where solid or has a maximum height of 1.8 metres where containing openings that make the fence at least 50% transparent. Fencing on all secondary frontages has a maximum height of 1.8 where containing openings that make the fence at least 25% transparent.

32. Fences on pedestrian linkages are to have a maximum height of 1.2m where solid or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.
- Bushfire Management
33. Lots may be subject to bushfire hazard requiring compliance with a relevant Australian Standard

34. The Plan of Development includes BAL ratings for affected lots (supplied by Bushfire Risk Reducers). Notwithstanding the BAL ratings shown on this plan, it is recommended that lot specific advice be sought prior to the commencement of design.

35. The BAL contours shown are valid until the adjacent vegetation is cleared for proposed developments

36. Where a dwelling and any other structures within 6m of the residence, encroach into BAL 19 area, it must be constructed in accordance with the recommendations in the Bushfire Management Plan prepared by Bushfire Risk Reducers dated 4th November 2025
- Additional Criteria for Secondary Dwellings
37. Design criteria for Secondary Dwellings is as per Schedule 3 of the Ripley Valley Development Scheme.
- Additional Criteria for Lots Fronting Bayliss Road and (new) Coleman Road
38. Requirements for 'street address' as outlined in item 27 of this Plan of Development apply to the primary frontages noted on the POD.

39. Frontage treatments are to extend for a minimum of 50% of the width of the facade and windows/glazing must occupy at least 25% of the facade area.

40. Dwellings include provision for pedestrian access to Bayliss Road by way of a gate to the nominated primary frontage.

41. Unless an alternate solution is approved by the assessment manager the a maximum 1.5 metre high surveillance fence with a minimum of 50% transparency along the common boundary with nominated primary frontage. Retaining walls associated with any fencing is to be located entirely within the residential lots.
- Additional Criteria for Lots Adjoining Public Open Space
42. Lots with a common boundary to public open space (being park, drainage or pedestrian pathway) provide for passive surveillance/overlooking of the open space by inclusion of two of the following design elements:
 - Habitable room windows facing the open space; or
 - For double storey dwellings, balconies overlooking the open space; or
 - For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space; or
 - Aluminium pool fencing to the common boundary with the open space.
- Acoustic Affected Lots
43. All acoustic affected lots must comply with the recommendations outlined of the Road Traffic Noise Assessment, prepared by Colliers, dated 28/08/25 (25BRA0139 R01_0).

- Category 3 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989 and the internal sound levels of AS2107-2016, once plans are available, to determine if acoustic facade upgrades are required.
 - Category 2 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989, where either the ground and/or first floor include lightweight external wall materials (e.g., fibrous cement rendered polystyrene, profiled metal) or features full-glass facades, such as fully glazed walls separating living spaces from all fresco areas.
-
- Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7251/2018/MAPDA/A

Date: 11 February 2026
- LEGEND
- Study Area

Major Contours (5.0m Intervals)

Indicative Bin Pad location

Mandatory Built to Boundary Wall location

Optional Built to Boundary Wall location

Building Envelope

Indicative Driveway Location

Bushfire Attack Level 12.5

Bushfire Attack Level 19.0

Bushfire Attack Level 29.0

Bushfire Attack Level 40

Cat 3 Acoustic Impact Lots

Cat 2 Acoustic Impact Lots
- | PLAN OF DEVELOPMENT TABLE | Terrace
7.5m+ Frontage | | Villa
10.5m - < 12.5m Frontage | | Premium Villa
12.5 - < 14.0m Frontage | | Courtyard
14.0m - < 16.0m Frontage | | Traditional
> 16.0m Frontage & Irregular Lots | | | | | | | | | | | |
|---|---------------------------|-------------|-----------------------------------|-------------|--|-------------|---------------------------------------|-------------|--|-------------|--|--|--|--|--|--|--|--|--|--|
| | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | Ground Floor | First Floor | | | | | | | | | | |
| Front / Primary Frontage * | 3.0m* | 3.0m* | 3.0m* | 3.0m* | 3.0m* | 3.0m* | 3.0m* | 3.0m* | 3.0m* | 3.0m* | | | | | | | | | | |
| Garage | 5.0m | n/a | 5.0m | n/a | 5.0m | n/a | 5.0m | n/a | 5.0m | n/a | | | | | | | | | | |
| Rear | 0.9m | 1.0m | 0.9m | 1.0m | 0.9m | 1.0m | 0.9m | 1.0m | 0.9m | 1.0m | | | | | | | | | | |
| Side - Setbacks | | | | | | | | | | | | | | | | | | | | |
| Built to Boundary | 0.0m Mandatory | 0m | 0.0m Mandatory | 1.0m | 0.0m Optional | 1.0m | 0.0m Optional | 1.0m | 0.0m Optional | 1.0m | | | | | | | | | | |
| Non Built to Bundry | 0.9m | 0.9m | 0.9m | 0.9m | 1.0m | 1.0m | 1.0m | 1.0m | 1.2m | 2.0m | | | | | | | | | | |
| Corner Lots - Secondary Frontage | 1.5m | 1.5m | 1.5m | 1.5m | 1.5m | 1.5m | 1.5m | 1.5m | 1.5m | 1.5m | | | | | | | | | | |
| Park / Drainage Reserve | 1.0m | 1.0m | 1.0m | 1.0m | 1.0m | 1.0m | 1.0m | 1.0m | 1.5m | 1.5m | | | | | | | | | | |
| Site Coverage (Maximum) | 75% | | 70% | | 65% | | 65% | | 65% | | | | | | | | | | | |
| * 2.4m setback permitted to enclosed entry features such as porches, porticos, verandas and balconies | | | | | | | | | | | | | | | | | | | | |
| ** 0m setback permitted to enclosed verandas and balconies | | | | | | | | | | | | | | | | | | | | |
- SCALE @A1 1:500 @A3 1:1000 - LENGTHS ARE IN METRES
- Saunders Havill

BOWEN HILLS | SPRINGFIELD

1300 123 744 | saundershavill.com
- DISCLAIMER

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CONTOURS: SURVEY BY WOLTER CONSULTING GROUP DATED 28/11/2017 (17 0322 103-175 BAYLISS ROAD, SOUTH RIPLEY DTM 3D)

STATE OVERLAYS: QUEENSLAND GOVERNMENT
-
- CLIENT

HB LAND PTY LTD
- SITE ADDRESS

BAYLISS ROAD, SOUTH RIPLEY
- RP DESCRIPTION

Lot 7 on RP836942, Lot 78 on SP308008
- DRAWN

JC
- CHECKED

FK
- DATE

12/12/2025
- DRAWING NO.

12186 P 06 Rev K - POD 03
-

PLAN OF DEVELOPMENT - STAGE 4

NOTES:

General

1. All development is to be undertaken in accordance with the Development Approval.
2. The maximum height of buildings shall not exceed two (2) storeys.
3. Building height is measured from natural ground level (to avoid any doubt, natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered).
4. Maximum building location envelopes may be subject to future proposed easements and/or other underground services.
5. A lot can have only one primary frontage. Primary frontages are nominated on this Plan of Development, being the indicative driveway location, or as shown on the POD
6. For corner lots, no building or structure over 2 metres high is to be built within a 4m x 4m truncation at the corner of two road frontages.
7. Where allotments are so marked on the Plan of Development, residential buildings must be designed and constructed to comply with the acoustic report.

Setbacks

8. Boundary setbacks are measured to the wall of the structure.
9. Setbacks are as per the Plan of Development Table unless otherwise specified.
10. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted, side setbacks shall be in accordance with the Plan of Development Table unless otherwise specified in these notes.
11. If a built to boundary wall is constructed, it must be constructed on the boundary nominated in this Plan of Development.
12. Maximum length of a built-to-boundary wall is 15 metres long or 50% of the depth of the lot (whichever is lesser).
13. First floor setbacks must not encroach the minimum ground floor setbacks.
14. Garages must not project forward of the front building setback.

15. Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
- Primary Street frontage, where eaves should not be closer than 2400mm.
16. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured.
17. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage.
18. Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m

On-Site parking and Driveways

19. Off street car park is to be provided in accordance with the following minimum requirements:
- One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one of which must be capable of being covered (may be provided in tandem).
19. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
20. All double garages must be setback behind the main face of the dwelling, with doors articulated, compromising a mix of materials and colours, or staggered.
21. Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side, garages are to be located on the western or southern side of the lot.
22. Maximum of one driveway per dwelling unless it is a corner lot where the minimum distance

- required in note 23 can be achieved and no retaining walls are present.
23. Minimum distance of a driveway from an intersection of one street with another street is 6.0 meters.
24. Double garages are permitted on lots with a frontage 12.5m or greater.
25. Double garages are only permitted on lots with a frontage less than 10m where the dwelling is more than 1 storey.

Private Open Space

26. Private open space is to be provided in accordance with the following requirements:
- Two bedroom house/dwelling unit – minimum 9m² with a minimum dimension of 2.4m;
 - Three of more bedroom house/dwelling – minimum 12m² with a minimum dimension 2.4m
25. Private open space must be in accordance with the following requirements:
- Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

26. Letterboxes must be clearly visible and identifiable from street.
27. Buildings must address each primary street frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
- Verandahs; and/or
 - Porches; and/or
 - Awning and shade structures; and/or
 - Variation to roof and building lines; and/or
 - Use of varying building materials.
28. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
- Windows recessed into the façade; and/or
 - Balconies, porches or verandah; and/or
 - Window Hoods/Screens; and/or
 - Shadow lines are created on the building through minor changes in the façade (100 millimetres minimum).
29. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.

Fencing

30. Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
31. Fencing on all primary frontages has a maximum height of 1.2 metres where solid or has a maximum height of 1.8 metres where containing openings that make the fence at least 50% transparent. Fencing on all secondary frontages has a maximum height of 1.8 where containing openings that make the fence at least 25% transparent.
32. Fences on pedestrian linkages are to have a maximum height of 1.2m where solid or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Bushfire Management

33. Lots may be subject to bushfire hazard requiring compliance with a relevant Australian Standard
34. The Plan of Development includes BAL ratings for affected lots (supplied by Bushfire Risk Reducers). Notwithstanding the BAL ratings shown on this plan, it is recommended that lot specific advice be sought prior to the commencement of design.
35. The BAL contours shown are valid until the adjacent vegetation is cleared for proposed developments
36. Where a dwelling and any other structures within 6m of the residence, encroach into BAL 19 area, it must be constructed in accordance with the recommendations in the Bushfire Management Plan prepared by Bushfire Risk Reducers dated 4th November 2025

Additional Criteria for Secondary Dwellings

37. Design criteria for Secondary Dwellings is as per Schedule 3 of the Ripley Valley Development Scheme.

Additional Criteria for Lots Fronting Bayliss Road and (new) Coleman Road

38. Requirements for 'street address' as outlined in item 27 of this Plan of Development apply to the primary frontages noted on the POD.
39. Frontage treatments are to extend for a minimum of 50% of the width of the facade and windows/glazing must occupy at least 25% of the facade area.
40. Dwellings include provision for pedestrian access to Bayliss Road by way of a gate to the nominated primary frontage.
41. Unless an alternate solution is approved by the assessment manager the a maximum 1.5 metre high surveillance fence with a minimum of 50% transparency along the common boundary with nominated primary frontage. Retaining walls associated with any fencing is to be located entirely within the residential lots.

Additional Criteria for Lots Adjoining Public Open Space

42. Lots with a common boundary to public open space (being park, drainage or pedestrian pathway) provide for passive surveillance/overlooking of the open space by inclusion of two of the following design elements:
- Habitable room windows facing the open space; or
 - For double storey dwellings, balconies overlooking the open space; or
 - For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space; or
 - Aluminium pool fencing to the common boundary with the open space.

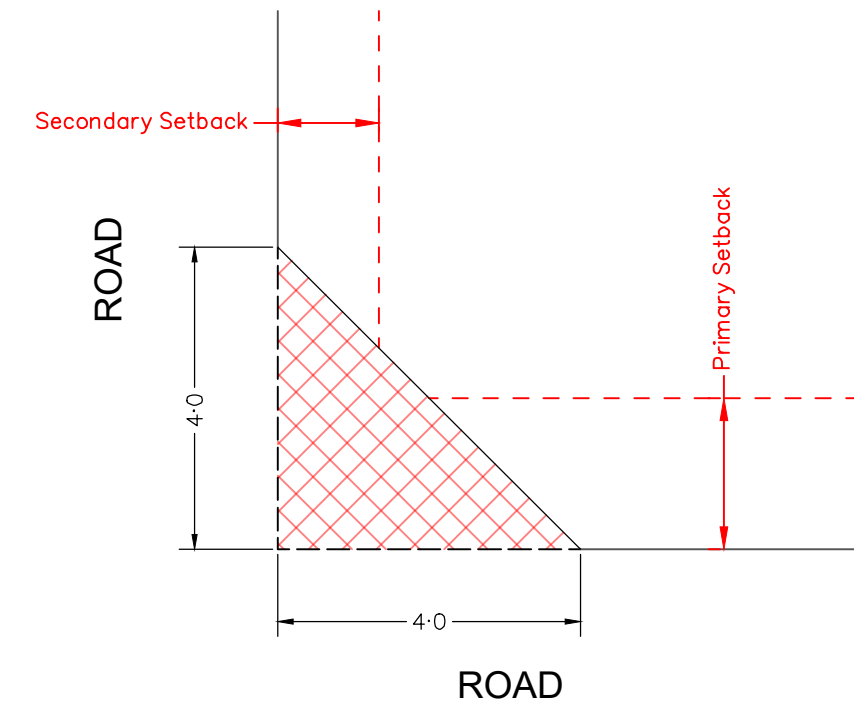
Acoustic Affected Lots

43. All acoustic affected lots must comply with the recommendations outlined of the Road Traffic Noise Assessment, prepared by Colliers, dated 28/08/25 (25BRA0139 R01_0).
- Category 3 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989 and the internal sound levels of AS2107-2016, once plans are available, to determine if acoustic facade upgrades are required.
 - Category 2 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989, where either the ground and/or first floor include lightweight external wall materials (e.g., fibrous cement rendered polystyrene, profiled metal) or features full-glass facades, such as fully glazed walls separating living spaces from al fresco areas.

LEGEND

- Study Area
- Major Contours (5.0m Intervals)
- Mandatory Built to Boundary Wall location
- Optional Built to Boundary Wall location
- Indicative Driveway Location
- Bushfire Attack Level 12.5
- Cat 2 Acoustic Impact Lots

SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS



PLAN OF DEVELOPMENT TABLE	Terrace 7.5m+ Frontage		Villa 10.5m - < 12.5m Frontage		Premium Villa 12.5 - < 14.0m Frontage		Courtyard 14.0m - < 16.0m Frontage		Traditional > 16.0m Frontage & Irregular Lots	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front / Primary Frontage *	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*
Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m
Side - Setbacks										
Built to Boundary	0.0m Mandatory	0m	0.0m Mandatory	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m
Non Built to Bundry	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.2m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Park / Drainage Reserve **	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m
Site Coverage (Maximum)	75%		70%		65%		65%		65%	
* 2.4m setback permitted to enclosed entry features such as porches, porticos, verandas and balconies										
** 0m setback permitted to enclosed verandas and balconies										

SCALE @A1 1:500 @A3 1:1000 - LENGTHS ARE IN METRES

5 0 5 10 15 20 25 30 35 40 45 50 55 60

DISCLAIMER

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SOURCE

PROJECTION: SURVEY COORDINATES (17 0322 103-175 Bayliss Road, South Ripley DTM 3D)

SUBJECT BOUNDARIES: SURVEY FROM WOLTER CONSULTING GROUP DATED (28/11/2017 (17 0322 103-175 BAYLISS ROAD, SOUTH RIPLEY DTM 3D)

CONTOURS: SURVEY BY WOLTER CONSULTING GROUP DATED 28/11/2017 (17 0322 103-175 BAYLISS ROAD, SOUTH RIPLEY DTM 3D)

STATE OVERLAYS: QUEENSLAND GOVERNMENT



CLIENT

HB LAND PTY LTD

SITE ADDRESS

BAYLISS ROAD, SOUTH RIPLEY

RP DESCRIPTION

Lot 7 on RP836942, Lot 78 on SP308008

DRAWN

JC

CHECKED

FK

DATE

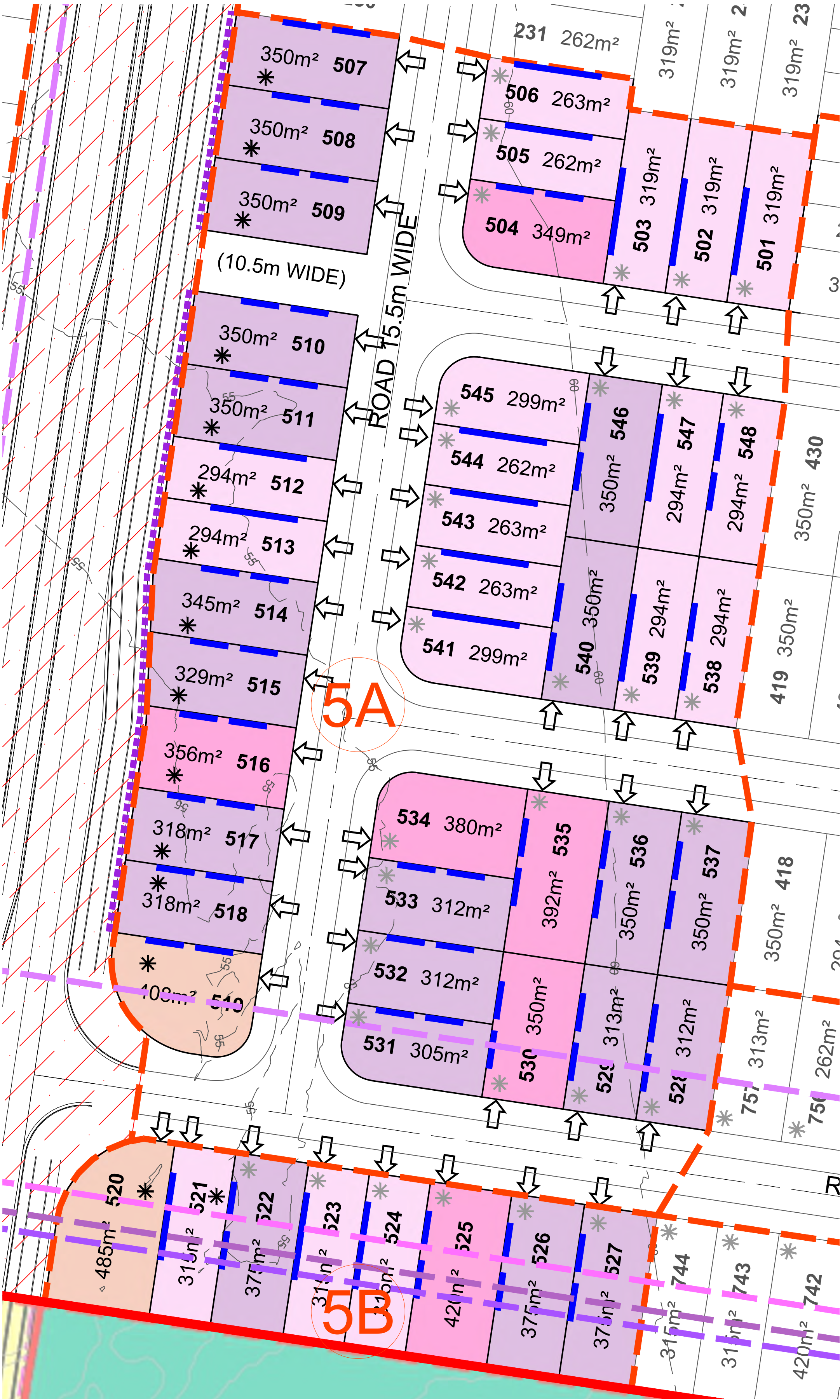
12/12/2025

DRAWING NO.

12186 P 06 Rev K - POD 04



PLAN OF DEVELOPMENT - STAGE 5



NOTES:

- General**
- All development is to be undertaken in accordance with the Development Approval.
 - The maximum height of buildings shall not exceed two (2) storeys.
 - Building height is measured from natural ground level (to avoid any doubt, natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered).
 - Maximum building location envelopes may be subject to future proposed easements and/or other underground services.
 - A lot can have only one primary frontage. Primary frontages are nominated on this Plan of Development, being the indicative driveway location, or as shown on the POD
 - For corner lots, no building or structure over 2 metres high is to be built within a 4m x 4m truncation at the corner of two road frontages.
 - Where allotments are so marked on the Plan of Development, residential buildings must be designed and constructed to comply with the acoustic report.

Setbacks

- Boundary setbacks are measured to the wall of the structure.
- Setbacks are as per the Plan of Development Table unless otherwise specified.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted, side setbacks shall be in accordance with the Plan of Development Table unless otherwise specified in these notes.
- If a built to boundary wall is constructed, it must be constructed on the boundary nominated in this Plan of Development.
- Maximum length of a built-to-boundary wall is 15 meters long or 50% of the depth of the lot (whichever is lesser).
- First floor setbacks must not encroach the minimum ground floor setbacks.
- Garages must not project forward of the front building setback.
- Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.
- Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured.
- For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage.
- Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m

On-Site parking and Driveways

- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one of which must be capable of being covered (may be provided in tandem).
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
- All double garages must be setback behind the main face of the dwelling, with doors articulated, compromising a mix of materials and colours, or staggered.
- Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side, garages are to be located on the western or southern side of the lot.
- Maximum of one driveway per dwelling unless it is a corner lot where the minimum distance required in note 23 can be achieved and no retaining walls are present.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres.
- Double garages are permitted on lots with a frontage 12.5m or greater.
- Double garages are only permitted on lots with a frontage less than 10m where the dwelling is more than 1 storey.

Private Open Space

- Private open space is to be provided in accordance with the following requirements:
 - Two bedroom house/dwelling unit – minimum 9m² with a minimum dimension of 2.4m;
 - Three or more bedroom house/dwelling – minimum 12m² with a minimum dimension 2.4m
- Private open space must be in accordance with the following requirements:
 - Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

- Letterboxes must be clearly visible and identifiable from street.
- Buildings must address each primary street frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - Verandahs; and/or
 - Porches; and/or
 - Awning and shade structures; and/or
 - Variation to roof and building lines; and/or
 - Use of varying building materials.
- All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade; and/or
 - Balconies, porches or verandah; and/or
 - Window Hoods/Screens; and/or
 - Shadow lines are created on the building through minor changes in the façade (100 millimetres minimum).
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.

Fencing

- Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
- Fencing on all primary frontages has a maximum height of 1.2 metres where solid or has a maximum height of 1.8 metres where containing openings that make the fence at least 50% transparent. Fencing on all secondary frontages has a maximum height of 1.8 where containing openings that make the fence at least 25% transparent.
- Fences on pedestrian linkages are to have a maximum height of 1.2m where solid or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Bushfire Management

- Lots may be subject to bushfire hazard requiring compliance with a relevant Australian Standard
- The Plan of Development includes BAL ratings for affected lots (supplied by Bushfire Risk Reducers). Notwithstanding the BAL ratings shown on this plan, it is recommended that lot specific advice be sought prior to the commencement of design.
- The BAL contours shown are valid until the adjacent vegetation is cleared for proposed developments
- Where a dwelling and any other structures within 6m of the residence, encroach into BAL 19 area, it must be constructed in accordance with the recommendations in the Bushfire Management Plan prepared by Bushfire Risk Reducers dated 4th November 2025

Additional Criteria for Secondary Dwellings

- Design criteria for Secondary Dwellings is as per Schedule 3 of the Ripley Valley Development Scheme.

Additional Criteria for Lots Fronting Bayliss Road and (new) Coleman Road

- Requirements for 'street address' as outlined in item 27 of this Plan of Development apply to the primary frontages noted on the POD.
- Frontage treatments are to extend for a minimum of 50% of the width of the facade and windows/glazing must occupy at least 25% of the facade area.
- Dwellings include provision for pedestrian access to Bayliss Road by way of a gate to the nominated primary frontage.
- Unless an alternate solution is approved by the assessment manager the a maximum 1.5 metre high surveillance fence with a minimum of 50% transparency along the common boundary with nominated primary frontage. Retaining walls associated with any fencing is to be located entirely within the residential lots.

Additional Criteria for Lots Adjoining Public Open Space

- Lots with a common boundary to public open space (being park, drainage or pedestrian pathway) provide for passive surveillance/overlooking of the open space by inclusion of two of the following design elements:
 - Habitable room windows facing the open space; or
 - For double storey dwellings, balconies overlooking the open space; or
 - For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space; or
 - Aluminium pool fencing to the common boundary with the open space.

Acoustic Affected Lots

- All acoustic affected lots must comply with the recommendations outlined of the Road Traffic Noise Assessment, prepared by Colliers, dated 28/08/25 (25BRA0139 R01_0).
- Category 3 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989, where either the ground and/or first floor include lightweight external wall materials (e.g., fibrous cement rendered polystyrene, profiled metal) or features full-glass facades, such as fully glazed walls separating living spaces from al fresco areas.
- Category 2 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989, where either the ground and/or first floor include lightweight external wall materials (e.g., fibrous cement rendered polystyrene, profiled metal) or features full-glass facades, such as fully glazed walls separating living spaces from al fresco areas.

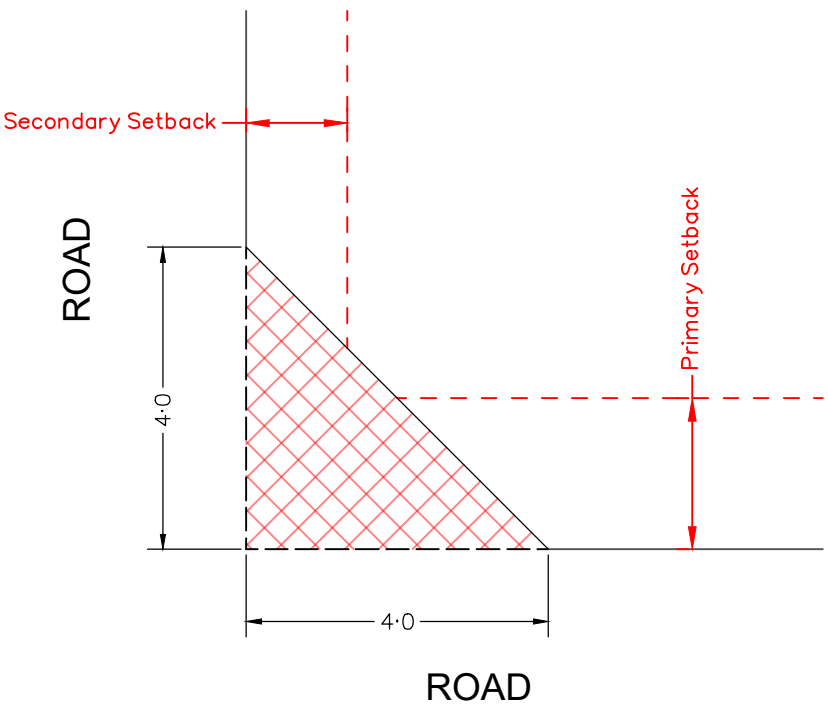
Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7251/2018/MAPDA/A
Date: 11 February 2026

LEGEND

- Study Area
- Major Contours (5.0m Intervals)
- Trunk Road Land Dedication
- Primary Frontage
- Mandatory Built to Boundary Wall location
- Optional Built to Boundary Wall location
- Indicative Driveway Location
- Bushfire Attack Level 12.5
- Bushfire Attack Level 19.0
- Bushfire Attack Level 29.0
- Bushfire Attack Level 40
- Cat 3 Acoustic Impact Lots
- Cat 2 Acoustic Impact Lots

SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS



SCALE @A1 1:500 @A3 1:1000 - LENGTHS ARE IN METRES

PLAN OF DEVELOPMENT TABLE	Terrace 7.5m+ Frontage		Villa 10.5m < 12.5m Frontage		Premium Villa 12.5 < 14.0m Frontage		Courtyard 14.0m < 16.0m Frontage		Traditional > 16.0m Frontage & Irregular Lots	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front / Primary Frontage *	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*
Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m
Side - Setbacks										
Built to Boundary	0.0m Mandatory	0m	0.0m Mandatory	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m
Non Built to Bundry	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.2m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Park / Drainage Reserve **	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m
Site Coverage (Maximum)	75%		70%		65%		65%		65%	
*	2.4m setback permitted to enclosed entry features such as porches, porticos, verandas and balconies									
**	0m setback permitted to enclosed verandas and balconies									

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CONTOURS: SURVEY BY WOLTER CONSULTING GROUP DATED 28/11/2017 (17 0322 103-175 BAYLISS ROAD, SOUTH RIPLEY DTM 3D)
STATE OVERLAYS: QUEENSLAND GOVERNMENT



CLIENT

HB LAND PTY LTD

SITE ADDRESS

BAYLISS ROAD, SOUTH RIPLEY

RP DESCRIPTION

Lot 7 on RP836942, Lot 78 on SP308008

DRAWN

JC

CHECKED

FK

DATE

12/12/2025

DRAWING NO.

12186 P 06 Rev K - POD 05



PLAN OF DEVELOPMENT - STAGE 6

- NOTES:**

General

 - All development is to be undertaken in accordance with the Development Approval.
 - The maximum height of buildings shall not exceed two (2) storeys.
 - Building height is measured from natural ground level (to avoid any doubt, natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered).
 - Maximum building location envelopes may be subject to future proposed easements and/or other underground services.
 - A lot can have only one primary frontage. Primary frontages are nominated on this Plan of Development, being the indicative driveway location, or as shown on the POD
 - For corner lots, no building or structure over 2 metres high is to be built within a 4m x 4m truncation at the corner of two road frontages.
 - Where allotments are so marked on the Plan of Development, residential buildings must be designed and constructed to comply with the acoustic report.

Setbacks

 - Boundary setbacks are measured to the wall of the structure.
 - Setbacks are as per the Plan of Development Table unless otherwise specified.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted, side setbacks shall be in accordance with the Plan of Development Table unless otherwise specified in these notes.
 - If a built to boundary wall is constructed, it must be constructed on the boundary nominated in this Plan of Development.
 - Maximum length of a built-to-boundary wall is 15 meters long or 50% of the depth of the lot (whichever is lesser).
 - First floor setbacks must not encroach the minimum ground floor setbacks.
 - Garages must not project forward of the front building setback.
 - Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include;
 - Primary Street frontage, where eaves should not be closer than 2400mm.
- Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured.
 - For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage.
 - Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m

- Private Open Space**

 - Private open space is to be provided in accordance with the following requirements:
 - Two bedroom house/dwelling unit – minimum 9m² with a minimum dimension of 2.4m;
 - Three of more bedroom house/dwelling – minimum 12m² with a minimum dimension 2.4m
 - Private open space must be in accordance with the following requirements:
 - Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

- Street Address**

 - Letterboxes must be clearly visible and identifiable from street.
 - Buildings must address each primary street frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - Verandahs; and/or
 - Porches; and/or
 - Awning and shade structures; and/or
 - Variation to roof and building lines; and/or
 - Use of varying building materials.

- All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade; and/or
 - Balconies, porches or verandah; and/or
 - Window Hoods/Screens; and/or
 - Shadow lines are created on the building through minor changes in the façade (100 millimetres minimum).
- Carpports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.

- Fencing**
- Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
 - Fencing on all primary frontages has a maximum height of 1.2 metres where solid or has a maximum height of 1.8 metres where containing openings that make the fence at least 50% transparent. Fencing on all secondary frontages has a maximum height of 1.8 where containing openings that make the fence at least 25% transparent.
 - Fences on pedestrian linkages are to have a maximum height of 1.2m where solid or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

- Bushfire Management**
- Lots may be subject to bushfire hazard requiring compliance with a relevant Australian Standard
 - The Plan of Development includes BAL ratings for affected lots (supplied by Bushfire Risk Reducers). Notwithstanding the BAL ratings shown on this plan, it is recommended that lot specific advice be sought prior to the commencement of design.
 - The BAL contours shown are valid until the adjacent vegetation is cleared for proposed developments
 - Where a dwelling and any other structures within 6m of the residence, encroach into BAL 19 area, it must be constructed in accordance with the recommendations in the Bushfire Management Plan prepared by Bushfire Risk Reducers dated 4th November 2025

- Additional Criteria for Secondary Dwellings**
- Design criteria for Secondary Dwellings is as per Schedule 3 of the Ripley Valley Development Scheme.
- Additional Criteria for Lots Fronting Bayliss Road and (new) Coleman Road**
- Requirements for 'street address' as outlined in item 27 of this Plan of Development apply to the primary frontages noted on the POD.
 - Frontage treatments are to extend for a minimum of 50% of the width of the facade and windows/glazing must occupy at least 25% of the facade area.
 - Dwellings include provision for pedestrian access to Bayliss Road by way of a gate to the nominated primary frontage.
 - Unless an alternate solution is approved by the assessment manager the a maximum 1.5 metre high surveillance fence with a minimum of 50% transparency along the common boundary with nominated primary frontage. Retaining walls associated with any fencing is to be located entirely within the residential lots.

- Additional Criteria for Lots Adjoining Public Open Space**
- Lots with a common boundary to public open space (being park, drainage or pedestrian pathway) provide for passive surveillance/overlooking of the open space by inclusion of two of the following design elements:
 - Habitable room windows facing the open space; or
 - For double storey dwellings, balconies overlooking the open space; or
 - For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space; or
 - Aluminium pool fencing to the common boundary with the open space.

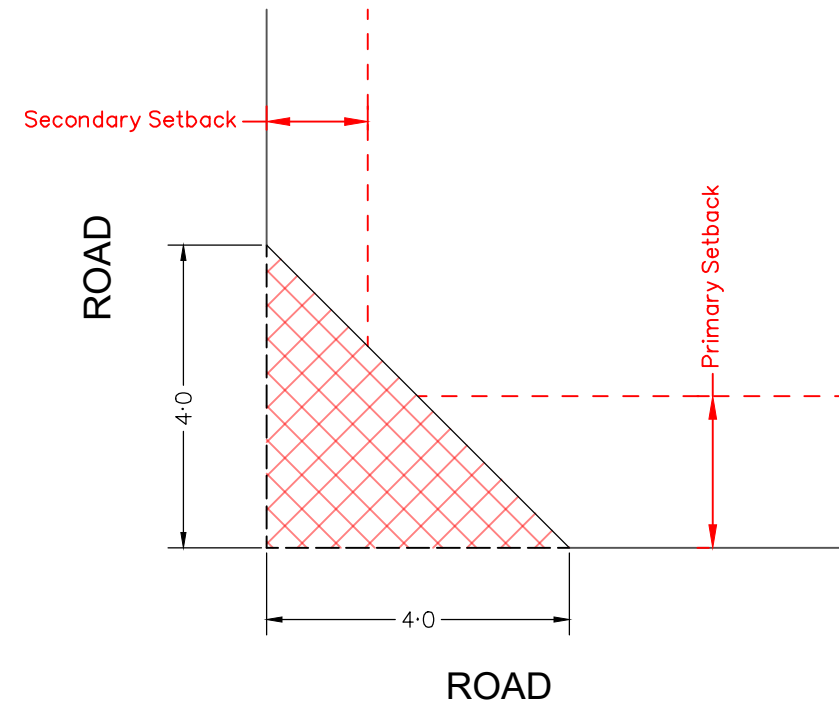
- Acoustic Affected Lots**
- All acoustic affected lots must comply with the recommendations outlined of the Road Traffic Noise Assessment, prepared by Colliers, dated 28/08/25 (25BRA0139 R01_0).
 - Category 3 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989 and the internal sound levels of AS2107-2016, once plans are available, to determine if acoustic facade upgrades are required.
 - Category 2 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989, where either the ground and/or first floor include lightweight external wall materials (e.g., fibrous cement rendered polystyrene, profiled metal) or features full-glass facades, such as fully glazed walls separating living spaces from al fresco areas.

LEGEND

- Study Area
- Major Contours (5.0m Intervals)
- Indicative Bin Pad location
- Mandatory Built to Boundary Wall location
- Optional Built to Boundary Wall location
- Indicative Driveway Location
- Bushfire Attack Level 12.5
- Bushfire Attack Level 19.0
- Bushfire Attack Level 29.0
- Bushfire Attack Level 40
- *

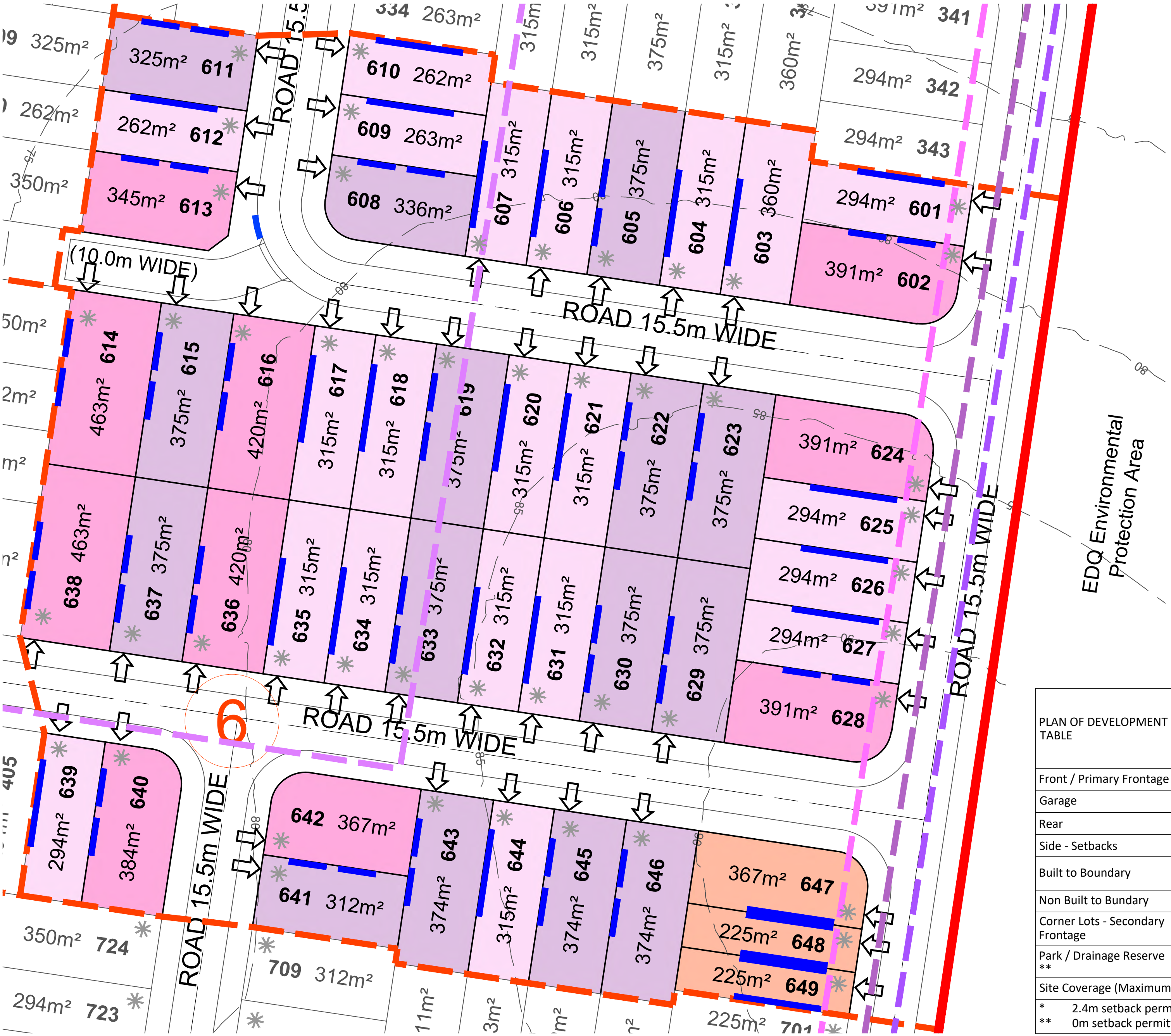
Cat 2 Acoustic Impact Lots

SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS



SCALE @A1 1:500 @A3 1:1000 - LENGTHS ARE IN METRES

5 0 5 10 15 20 25 30 35 40 45 50 55 60



Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7251/2018/MAPDA/A
Date: 11 February 2026

PLAN OF DEVELOPMENT TABLE	Terrace 7.5m+ Frontage		Villa 10.5m - < 12.5m Frontage		Premium Villa 12.5 - < 14.0m Frontage		Courtyard 14.0m - < 16.0m Frontage		Traditional > 16.0m Frontage & Irregular Lots	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front / Primary Frontage *	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*
Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m
Side - Setbacks										
Built to Boundary	0.0m Mandatory	0m	0.0m Mandatory	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.2m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Park / Drainage Reserve **	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m
Site Coverage (Maximum)	75%		70%		65%		65%		65%	
*	2.4m setback permitted to enclosed entry features such as porches, porticos, verandas and balconies									
**	0m setback permitted to enclosed verandas and balconies									



PLAN OF DEVELOPMENT - STAGE 7

NOTES:

General

1. All development is to be undertaken in accordance with the Development Approval.
2. The maximum height of buildings shall not exceed two (2) storeys.
3. Building height is measured from natural ground level (to avoid any doubt, natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered).
4. Maximum building location envelopes may be subject to future proposed easements and/or other underground services.
5. A lot can have only one primary frontage. Primary frontages are nominated on this Plan of Development, being the indicative driveway location, or as shown on the POD
6. For corner lots, no building or structure over 2 metres high is to be built within a 4m x 4m truncation at the corner of two road frontages.
7. Where allotments are so marked on the Plan of Development, residential buildings must be designed and constructed to comply with the acoustic report.

Setbacks

8. Boundary setbacks are measured to the wall of the structure.
9. Setbacks are as per the Plan of Development Table unless otherwise specified.
10. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted, side setbacks shall be in accordance with the Plan of Development Table unless otherwise specified in these notes.
11. If a built to boundary wall is constructed, it must be constructed on the boundary nominated in this Plan of Development.
12. Maximum length of a built-to-boundary wall is 15 metres long or 50% of the depth of the lot (whichever is lesser).
13. First floor setbacks must not encroach the minimum ground floor setbacks.
14. Garages must not project forward of the front building setback.
15. Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.

16. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured.
17. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage.
18. Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m

On-Site parking and Driveways

19. Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one of which must be capable of being covered (may be provided in tandem).
19. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
20. All double garages must be setback behind the main face of the dwelling, with doors articulated, compromising a mix of materials and colours, or staggered.
21. Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side, garages are to be located on the western or southern side of the lot.
22. Maximum of one driveway per dwelling unless it is a corner lot where the minimum distance required in note 23 can be achieved and no retaining walls are present.
23. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres.
24. Double garages are permitted on lots with a frontage 12.5m or greater.
25. Double garages are only permitted on lots with a frontage less than 10m where the dwelling is more than 1 storey.

Private Open Space

26. Private open space is to be provided in accordance with the following requirements:
 - Two bedroom house/dwelling unit – minimum 9m² with a minimum dimension of 2.4m;
 - Three of more bedroom house/dwelling – minimum 12m² with a minimum dimension 2.4m
25. Private open space must be in accordance with the following requirements:
 - Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

26. Letterboxes must be clearly visible and identifiable from street.
27. Buildings must address each primary street frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - Verandahs; and/or
 - Porches; and/or
 - Awning and shade structures; and/or
 - Variation to roof and building lines; and/or
 - Use of varying building materials.
28. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade; and/or
 - Balconies, porches or verandah; and/or
 - Window Hoods/Screens; and/or
 - Shadow lines are created on the building through minor changes in the façade (100 millimetres minimum).
29. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.

Fencing

30. Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
31. Fencing on all primary frontages has a maximum height of 1.2 metres where solid or has a maximum height of 1.8 metres where containing openings that make the fence at least 50% transparent. Fencing on all secondary frontages has a maximum height of 1.8 where containing openings that make the fence at least 25% transparent.
32. Fences on pedestrian linkages are to have a maximum height of 1.2m where solid or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Bushfire Management

33. Lots may be subject to bushfire hazard requiring compliance with a relevant Australian Standard
34. The Plan of Development includes BAL ratings for affected lots (supplied by Bushfire Risk Reducers). Notwithstanding the BAL ratings shown on this plan, it is recommended that lot specific advice be sought prior to the commencement of design.
35. The BAL contours shown are valid until the adjacent vegetation is cleared for proposed developments
36. Where a dwelling and any other structures within 6m of the residence, encroach into BAL 19 area, it must be constructed in accordance with the recommendations in the Bushfire Management Plan prepared by Bushfire Risk Reducers dated 4th November 2025

Additional Criteria for Secondary Dwellings

37. Design criteria for Secondary Dwellings is as per Schedule 3 of the Ripley Valley Development Scheme.

Additional Criteria for Lots Fronting Bayliss Road and (new) Coleman Road

38. Requirements for 'street address' as outlined in item 27 of this Plan of Development apply to the primary frontages noted on the POD.
39. Frontage treatments are to extend for a minimum of 50% of the width of the facade and windows/glazing must occupy at least 25% of the facade area.
40. Dwellings include provision for pedestrian access to Bayliss Road by way of a gate to the nominated primary frontage.
41. Unless an alternate solution is approved by the assessment manager the a maximum 1.5 metre high surveillance fence with a minimum of 50% transparency along the common boundary with nominated primary frontage. Retaining walls associated with any fencing is to be located entirely within the residential lots.

Additional Criteria for Lots Adjoining Public Open Space

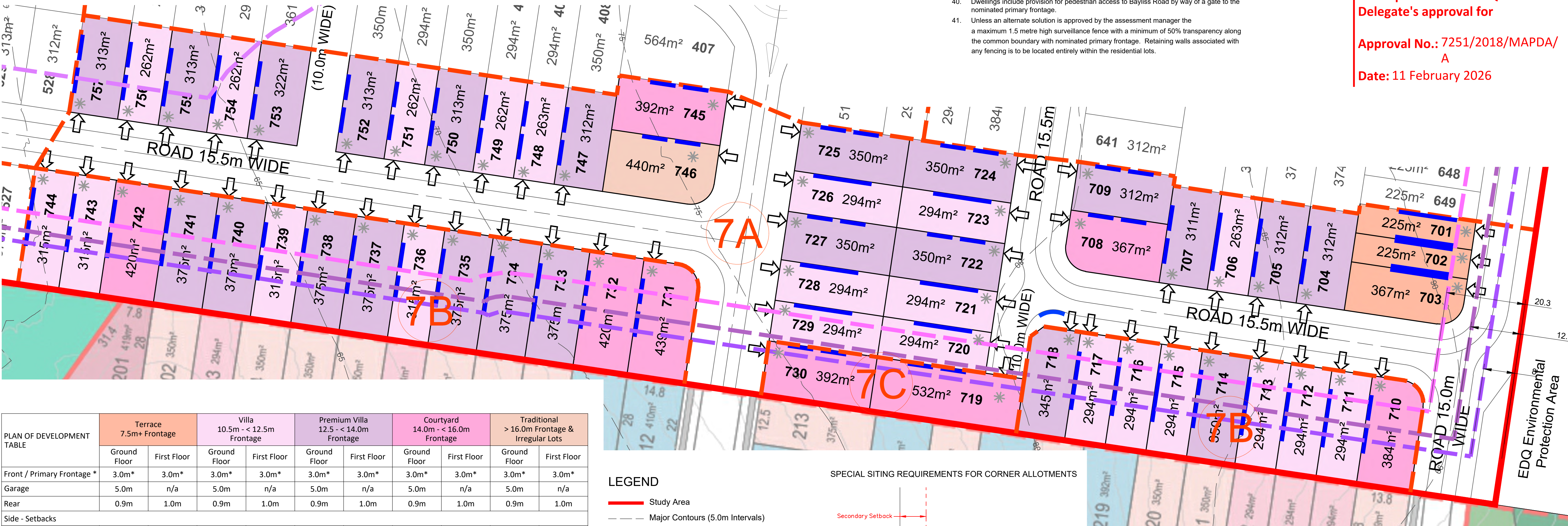
42. Lots with a common boundary to public open space (being park, drainage or pedestrian pathway) provide for passive surveillance/overlooking of the open space by inclusion of two of the following design elements:
 - Habitable room windows facing the open space; or
 - For double storey dwellings, balconies overlooking the open space; or
 - For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space; or
 - Aluminium pool fencing to the common boundary with the open space.

Acoustic Affected Lots

43. All acoustic affected lots must comply with the recommendations outlined of the Road Traffic Noise Assessment, prepared by Colliers, dated 28/08/25 (25BRA0139 R01_0).
 - Category 3 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989 and the internal sound levels of AS2107-2016, once plans are available, to determine if acoustic facade upgrades are required.
 - Category 2 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989, where either the ground and/or first floor include lightweight external wall materials (e.g., fibrous cement rendered polystyrene, profiled metal) or features full-glass facades, such as fully glazed walls separating living spaces from al fresco areas.

Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7251/2018/MAPDA/A
Date: 11 February 2026

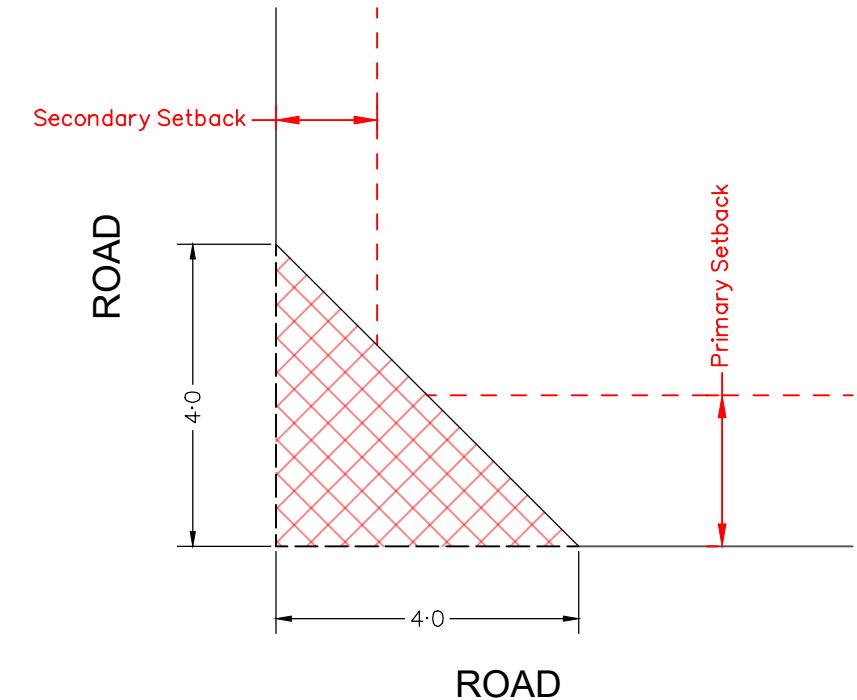


PLAN OF DEVELOPMENT TABLE	Terrace 7.5m+ Frontage		Villa 10.5m - < 12.5m Frontage		Premium Villa 12.5 - < 14.0m Frontage		Courtyard 14.0m - < 16.0m Frontage		Traditional > 16.0m Frontage & Irregular Lots	
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Front / Primary Frontage *	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*
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Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m
Side - Setbacks										
Built to Boundary	0.0m Mandatory	0m	0.0m Mandatory	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m
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Park / Drainage Reserve **	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m
Site Coverage (Maximum)	75%		70%		65%		65%		65%	
* 2.4m setback permitted to enclosed entry features such as porches, porticos, verandas and balconies										
** 0m setback permitted to enclosed verandas and balconies										

LEGEND

- Study Area
- Major Contours (5.0m Intervals)
- Indicative Bin Pad location
- Mandatory Built to Boundary Wall location
- Optional Built to Boundary Wall location
- Indicative Driveway Location
- Bushfire Attack Level 12.5
- Bushfire Attack Level 19.0
- Bushfire Attack Level 29.0
- Bushfire Attack Level 40
- Cat 2 Acoustic Impact Lots

SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS



SCALE @A1 1:500 @A3 1:1000 - LENGTHS ARE IN METRES

DISCLAIMER

THIS PLAN WAS PREPARED AS A CONCEPTUAL LAYOUT ONLY. IT IS NOT SUITABLE FOR ANY OTHER PURPOSE. PROPERTY DIMENSIONS, AREAS, LOT NUMBERS, AND OTHER FEATURES ARE BASED ON EXISTING INFORMATION AND MAY NOT HAVE BEEN VERIFIED BY SURVEY. THESE DETAILS MAY CHANGE SUBJECT TO DEVELOPMENT APPROVAL OR FURTHER DESIGN. PAVEMENT AND CENTRELINES SHOWN ARE INDICATIVE ONLY AND ARE SUBJECT TO ENGINEERING DESIGN. THE DESIGNS DOCUMENTED HEREIN REMAIN THE PROPERTY OF SAUNDERS HAVILL GROUP AND MUST NOT BE REPRODUCED OR USED IN WHOLE OR PART WITHOUT WRITTEN PERMISSION. SAUNDERS HAVILL GROUP ACCEPTS NO RESPONSIBILITY FOR ANY USE OR RELIANCE BY THIRD PARTIES. REPRODUCTION WITHOUT THIS NOTE IN FULL RENDERS THE INFORMATION INVALID.

SOURCE

PROJECTION: SURVEY COORDINATES (17 0322 103-175 Bayliss Road, South Ripley DTM 3D)
SUBJECT BOUNDARIES: SURVEY FROM WOLTER CONSULTING GROUP DATED (28/11/2017 (17 0322 103-175 BAYLISS ROAD, SOUTH RIPLEY DTM 3D)
CONTOURS: SURVEY BY WOLTER CONSULTING GROUP DATED 28/11/2017 (17 0322 103-175 BAYLISS ROAD, SOUTH RIPLEY DTM 3D)
STATE OVERLAYS: QUEENSLAND GOVERNMENT



CLIENT

HB LAND PTY LTD

SITE ADDRESS

BAYLISS ROAD, SOUTH RIPLEY

RP DESCRIPTION

Lot 7 on RP836942, Lot 78 on SP308008

DRAWN

JC

CHECKED

FK

DATE

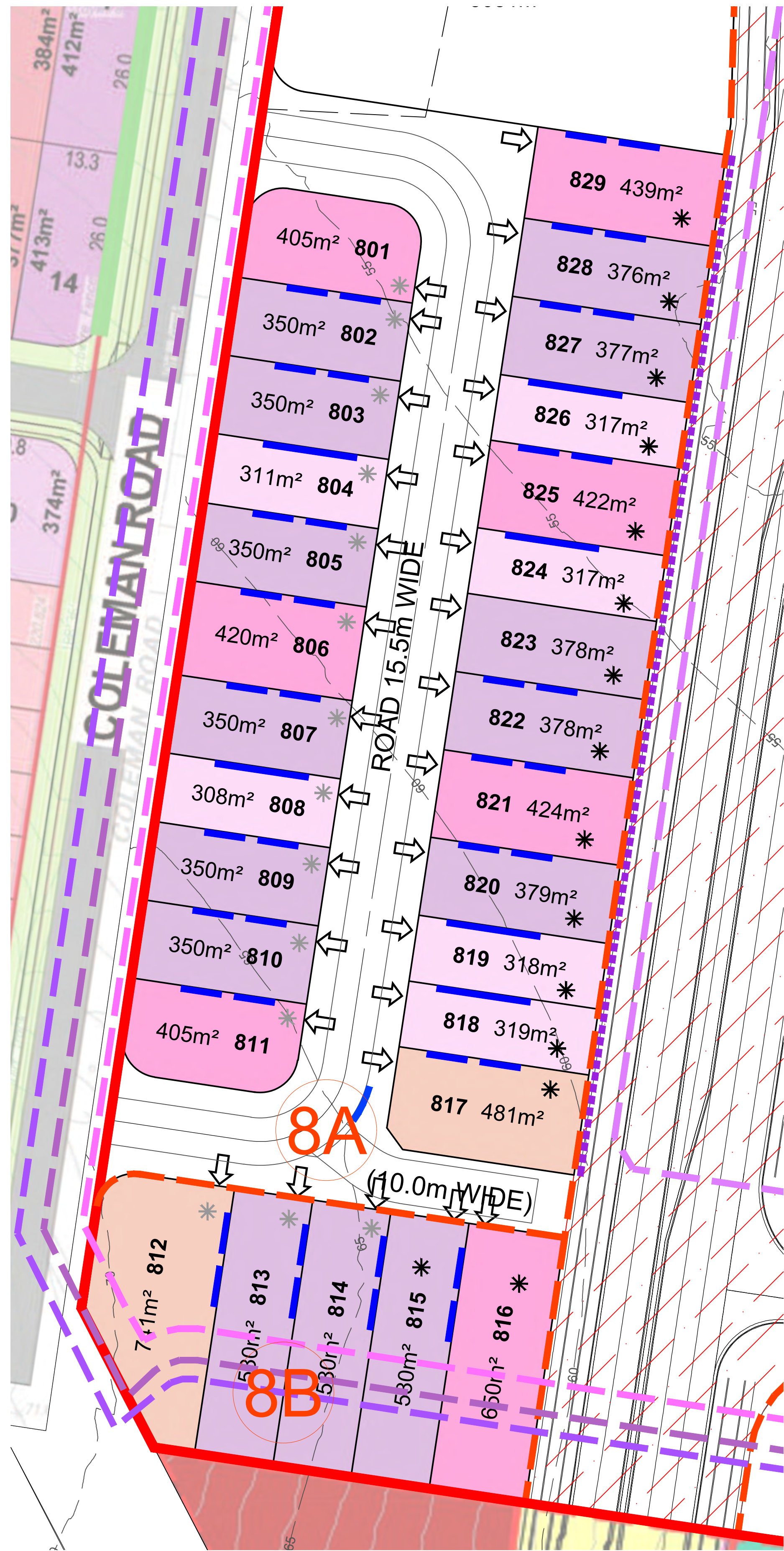
12/12/2025

DRAWING NO.

12186 P 06 Rev K - POD 07



PLAN OF DEVELOPMENT - STAGE 8



- NOTES:**
- General**
- All development is to be undertaken in accordance with the Development Approval.
 - The maximum height of buildings shall not exceed two (2) storeys.
 - Building height is measured from natural ground level (to avoid any doubt, natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered).
 - Maximum building location envelopes may be subject to future proposed easements and/or other underground services.
 - A lot can have only one primary frontage. Primary frontages are nominated on this Plan of Development, being the indicative driveway location, or as shown on the POD
 - For corner lots, no building or structure over 2 metres high is to be built within a 4m x 4m truncation at the corner of two road frontages.
 - Where allotments are so marked on the Plan of Development, residential buildings must be designed and constructed to comply with the acoustic report.
- Setbacks**
- Boundary setbacks are measured to the wall of the structure.
 - Setbacks are as per the Plan of Development Table unless otherwise specified.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted, side setbacks shall be in accordance with the Plan of Development Table unless otherwise specified in these notes.
 - If a built to boundary wall is constructed, it must be constructed on the boundary nominated in this Plan of Development.
 - Maximum length of a built-to-boundary wall is 15 meters long or 50% of the depth of the lot (whichever is lesser).
 - First floor setbacks must not encroach the minimum ground floor setbacks.
 - Garages must not project forward of the front building setback.
 - Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.
 - Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured.
 - For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage.
 - Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m
- On-Site parking and Driveways**
- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one of which must be capable of being covered (may be provided in tandem).
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
 - All double garages must be setback behind the main face of the dwelling, with doors articulated, compromising a mix of materials and colours, or staggered.
 - Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side, garages are to be located on the western or southern side of the lot.
 - Maximum of one driveway per dwelling unless it is a corner lot where the minimum distance required in note 23 can be achieved and no retaining walls are present.
 - Minimum distance of a driveway from an intersection of one street with another street is 6.0 meters.
 - Double garages are permitted on lots with a frontage 12.5m or greater.
 - Double garages are only permitted on lots with a frontage less than 10m where the dwelling is more than 1 storey.
- Private Open Space**
- Private open space is to be provided in accordance with the following requirements:
 - Two bedroom house/dwelling unit – minimum 9m² with a minimum dimension of 2.4m;
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 - Accessible from a living room; and
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 - Maximum gradient not exceeding 1:10.

- Street Address**
- Letterboxes must be clearly visible and identifiable from street.
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 - Awning and shade structures; and/or
 - Variation to roof and building lines; and/or
 - Use of varying building materials.
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 - Where a dwelling and any other structures within 6m of the residence, encroach into BAL 19 area, it must be constructed in accordance with the recommendations in the Bushfire Management Plan prepared by Bushfire Risk Reducers dated 4th November 2025

- Additional Criteria for Secondary Dwellings**
- Design criteria for Secondary Dwellings is as per Schedule 3 of the Ripley Valley Development Scheme.

- Additional Criteria for Lots Fronting Bayliss Road and (new) Coleman Road**
- Requirements for 'street address' as outlined in Item 27 of this Plan of Development apply to the primary frontages noted on the POD.
 - Frontage treatments are to extend for a minimum of 50% of the width of the facade and windows/glazing must occupy at least 25% of the facade area.
 - Dwellings include provision for pedestrian access to Bayliss Road by way of a gate to the nominated primary frontage.
 - Unless an alternate solution is approved by the assessment manager the a maximum 1.5 metre high surveillance fence with a minimum of 50% transparency along the common boundary with nominated primary frontage. Retaining walls associated with any fencing is to be located entirely within the residential lots.

- Additional Criteria for Lots Adjoining Public Open Space**
- Lots with a common boundary to public open space (being park, drainage or pedestrian pathway) provide for passive surveillance/overlooking of the open space by inclusion of two of the following design elements:
 - Habitable room windows facing the open space; or
 - For double storey dwellings, balconies overlooking the open space; or
 - For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space; or
 - Aluminium pool fencing to the common boundary with the open space.
- Acoustic Affected Lots**
- All acoustic affected lots must comply with the recommendations outlined of the Road Traffic Noise Assessment, prepared by Colliers, dated 28/08/25 (25BRA0139 R01.0).
 - Category 3 marked as Acoustic Impacted Lots must have an individual acoustic assessment conducted in accordance with AS3671-1989 and the internal sound levels of AS2107-2016, once plans are available, to determine if acoustic facade upgrades are required.
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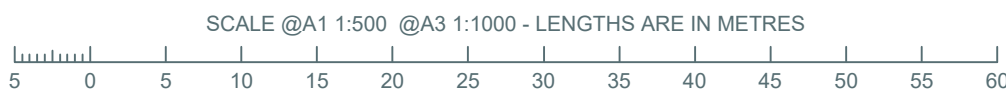
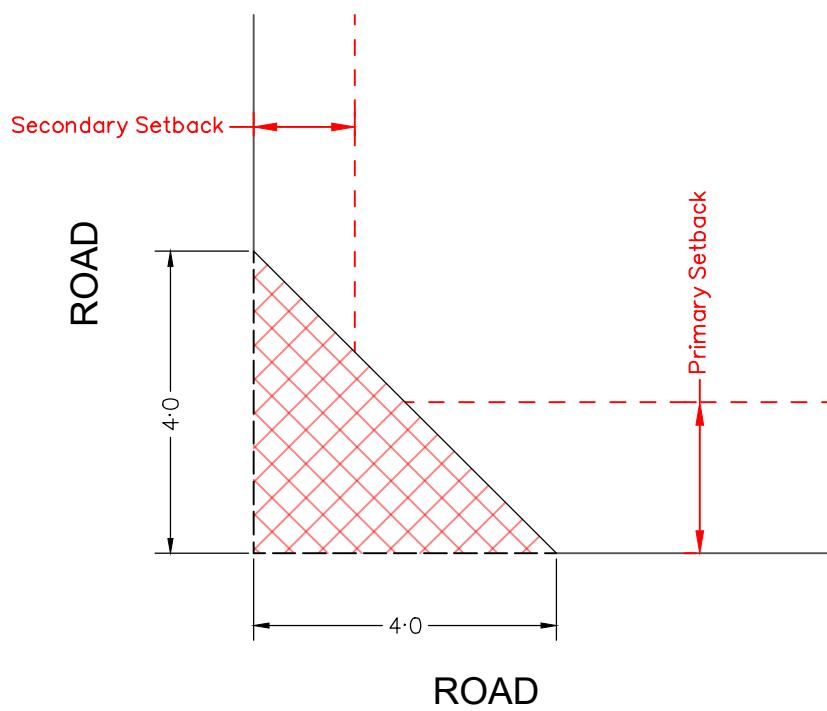
Approval No.: 7251/2018/MAPDA/ A

Date: 11 February 2026

LEGEND

- Study Area
- Major Contours (5.0m Intervals)
- Trunk Road Land Dedication
- Primary Frontage
- Indicative Bin Pad location
- Mandatory Built to Boundary Wall location
- Optional Built to Boundary Wall location
- Indicative Driveway Location
- Bushfire Attack Level 12.5
- Bushfire Attack Level 19.0
- Bushfire Attack Level 29.0
- Bushfire Attack Level 40
- Cat 3 Acoustic Impact Lots
- Cat 2 Acoustic Impact Lots

SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS



PLAN OF DEVELOPMENT TABLE	Terrace 7.5m+ Frontage		Villa 10.5m - < 12.5m Frontage		Premium Villa 12.5 - < 14.0m Frontage		Courtyard 14.0m - < 16.0m Frontage		Traditional > 16.0m Frontage & Irregular Lots	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front / Primary Frontage *	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*
Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m
Side - Setbacks										
Built to Boundary	0.0m Mandatory	0m	0.0m Mandatory	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m
Non Built to Bundry	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.2m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Park / Drainage Reserve **	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m
Site Coverage (Maximum)	75%		70%		65%		65%		65%	
* 2.4m setback permitted to enclosed entry features such as porches, porticos, verandas and balconies										
** 0m setback permitted to enclosed verandas and balconies										

