



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	MS	07.08.2026	ORIGINAL ISSUE

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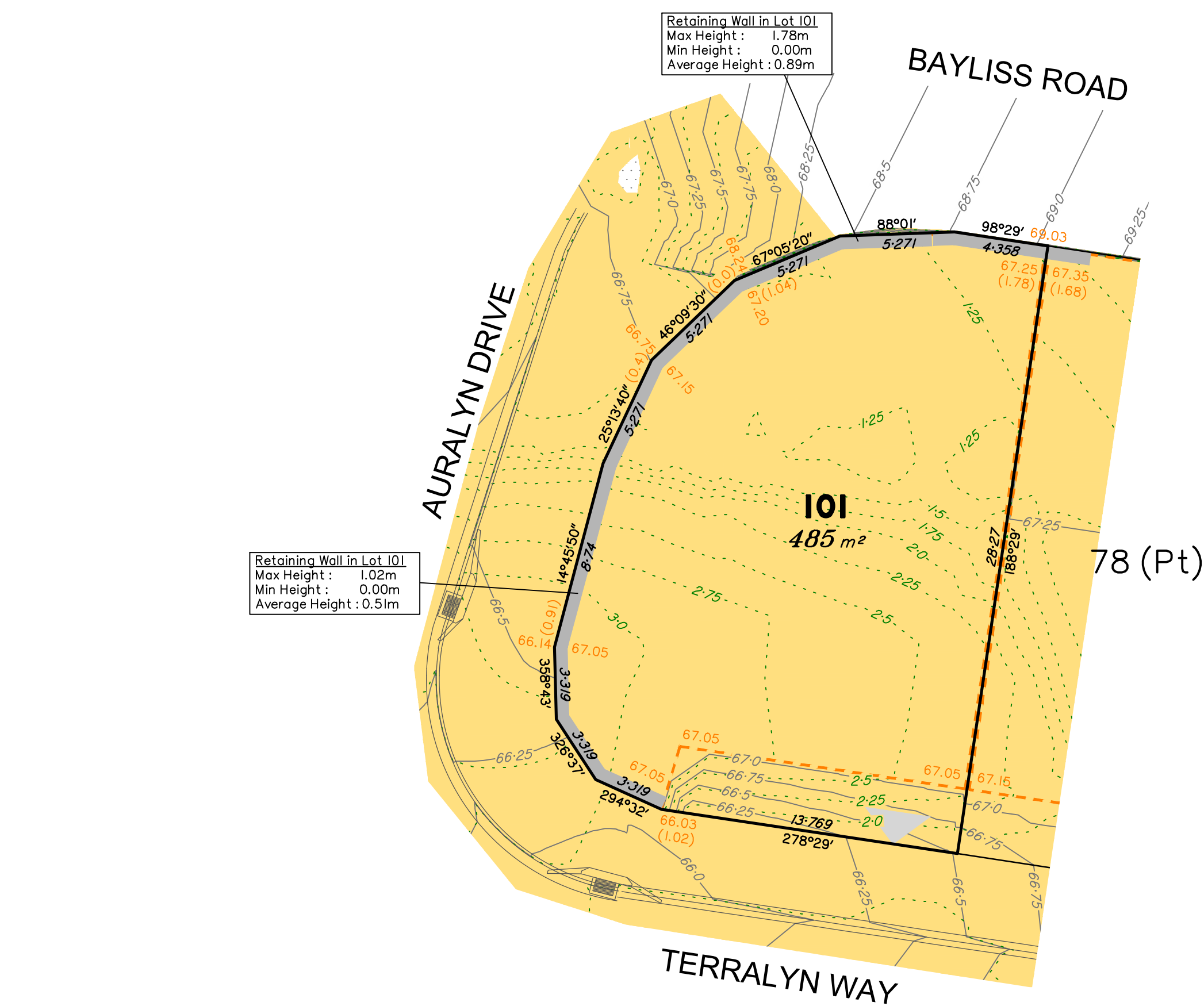
LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 101 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_101



STAGE 1



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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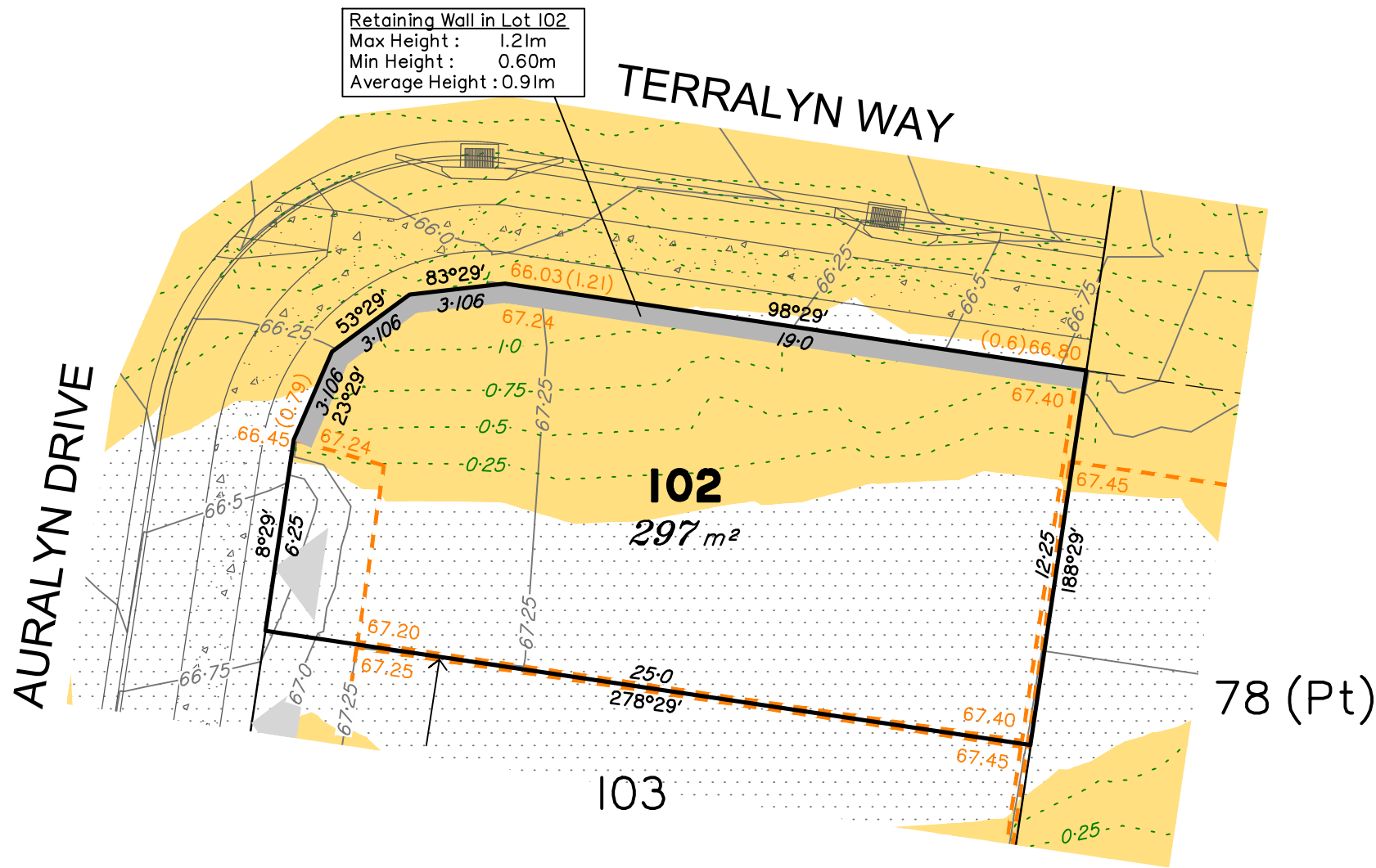
The current development approval was granted for this subdivision (7251/2018/MAPDA/A) by the Ipswich City Council (11/02/2026).

At the time of publication of this plan, the relevant authorities have not granted operational works approval for the proposed lot.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

Finished Design Surface Level
XX.XX

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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STAGE 1



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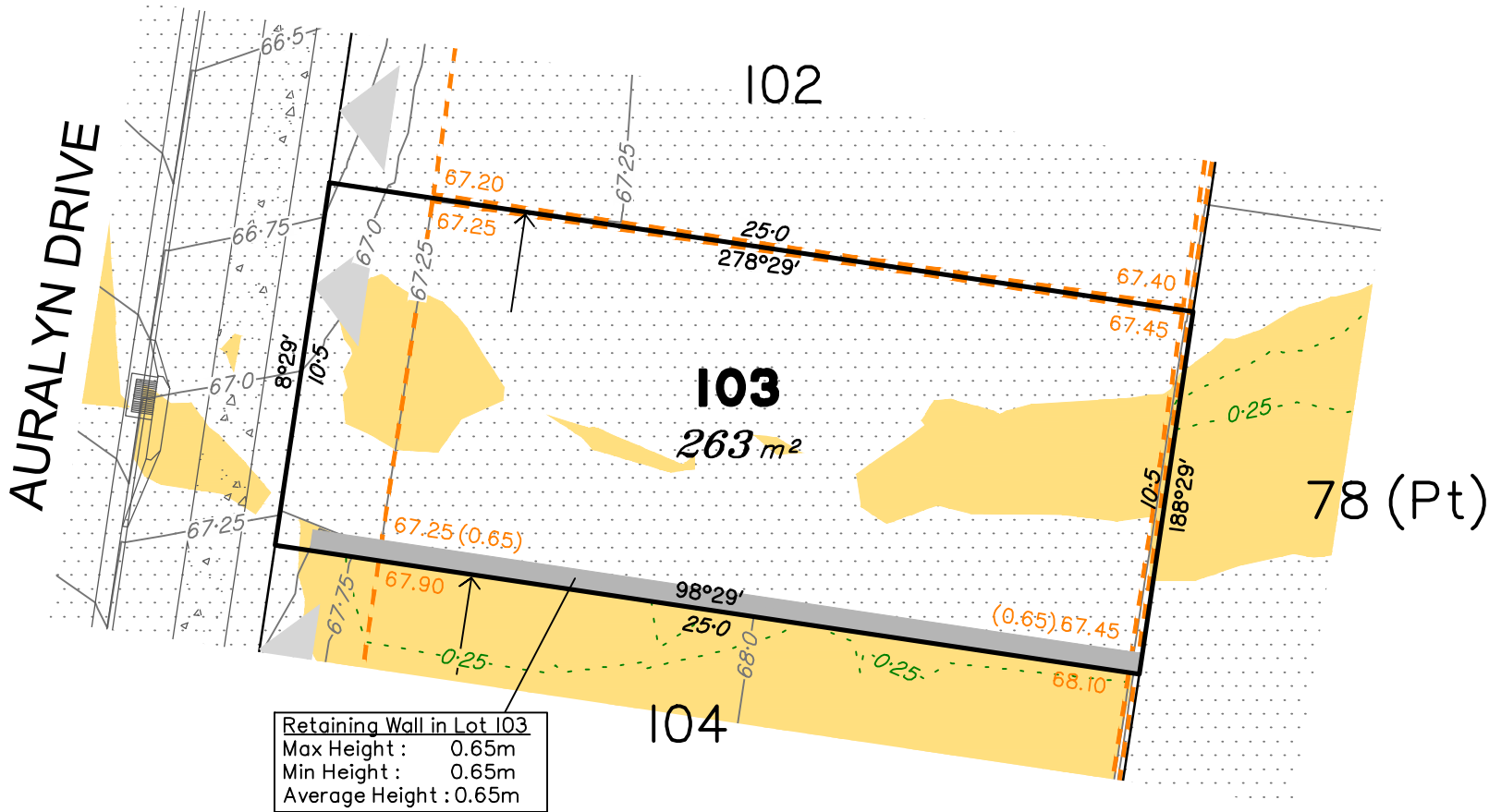
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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 102 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_102





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

(1.5)

Proposed Retaining Wall
(Height shown in brackets on lower side)

XX.XX

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

*

Proposed Stairs or Access Location

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NOTES

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Parts of Lot 103 are subject to areas of fill less than 0.25m in depth.

Silva

South Ripley

STAGE 1



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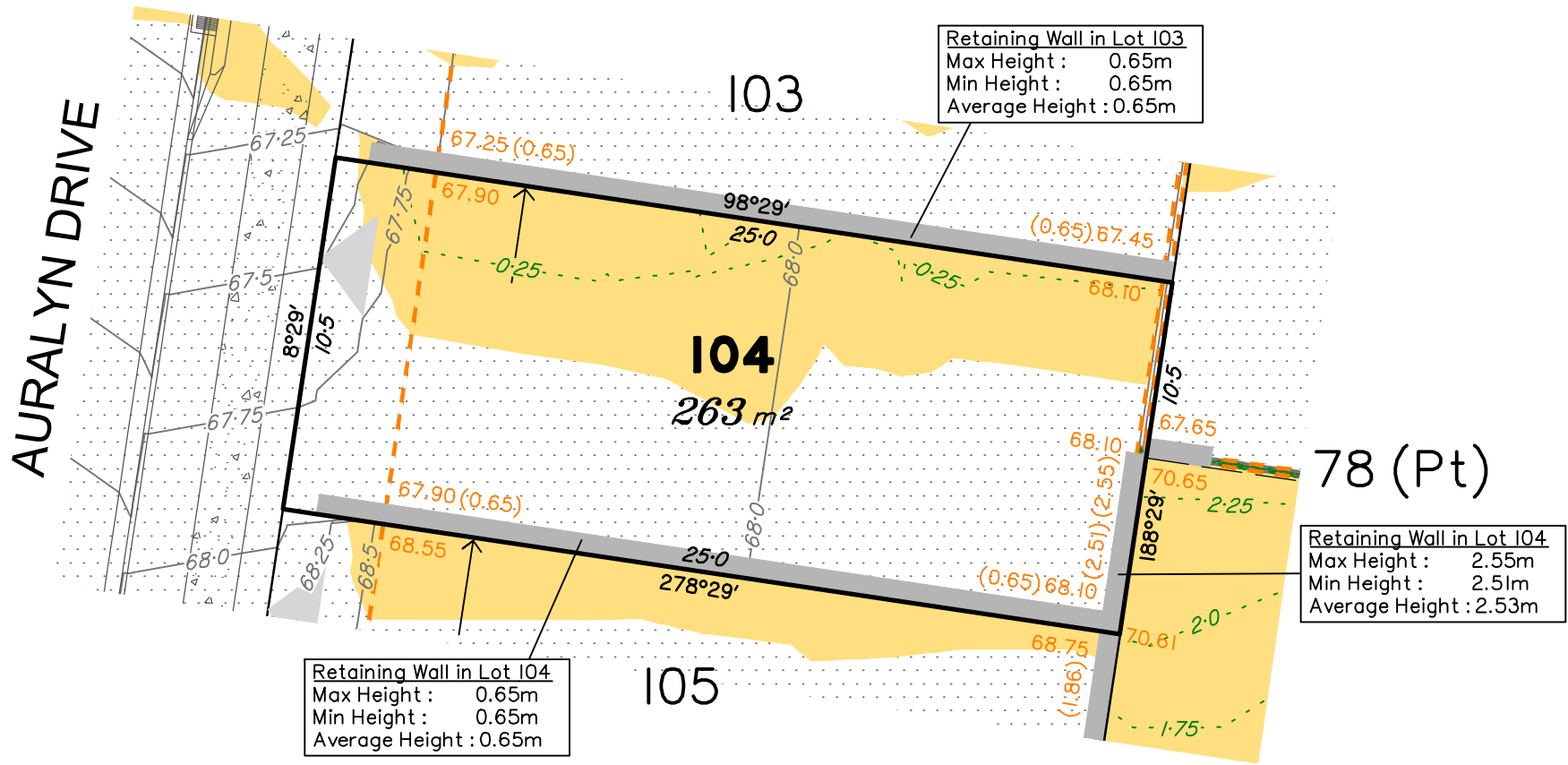
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CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 103 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_103





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

XX.XX
Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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Silva

South Ripley

STAGE 1



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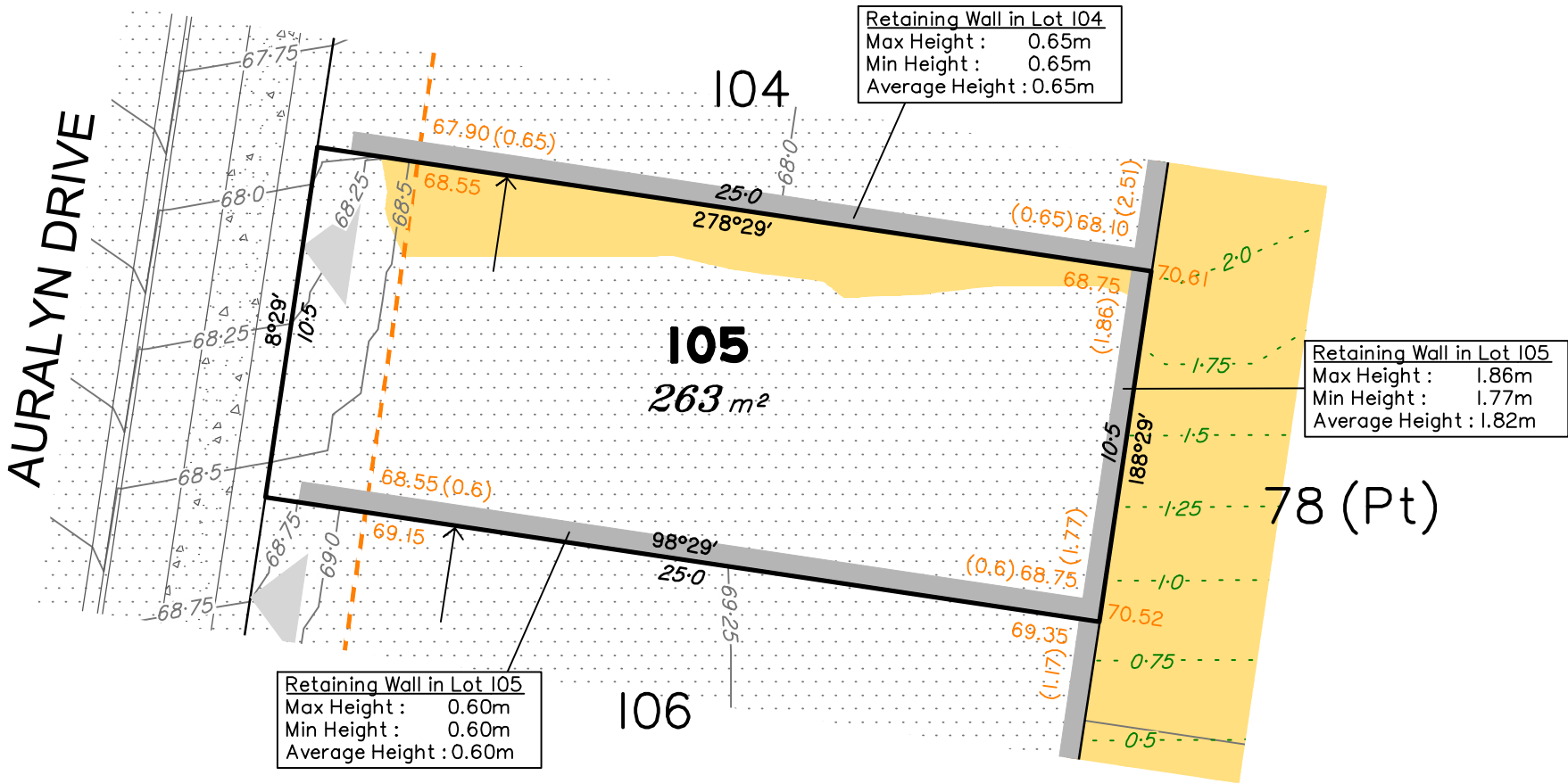
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CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 104 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_104





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

Finished Design Surface Level
XX.XX

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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Parts of Lot 105 are subject to areas of fill less than 0.25m in depth.

Silva

South Ripley

STAGE 1



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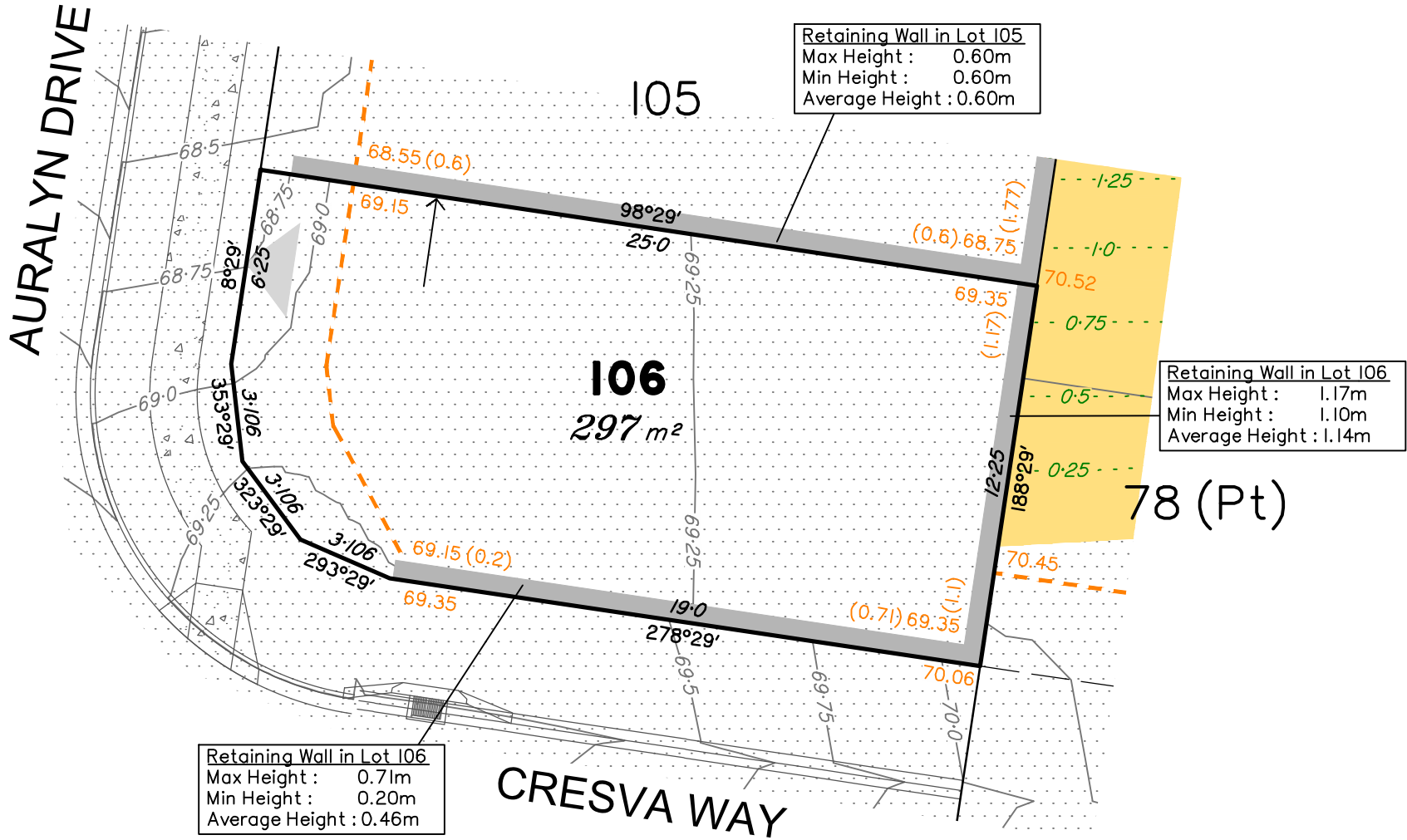
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RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 105 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_105





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

XX.XX
Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

(Not all items in this legend may be relevant to the lot shown on this plan)

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Silva

South Ripley

STAGE 1



ISSUES				CHECKED
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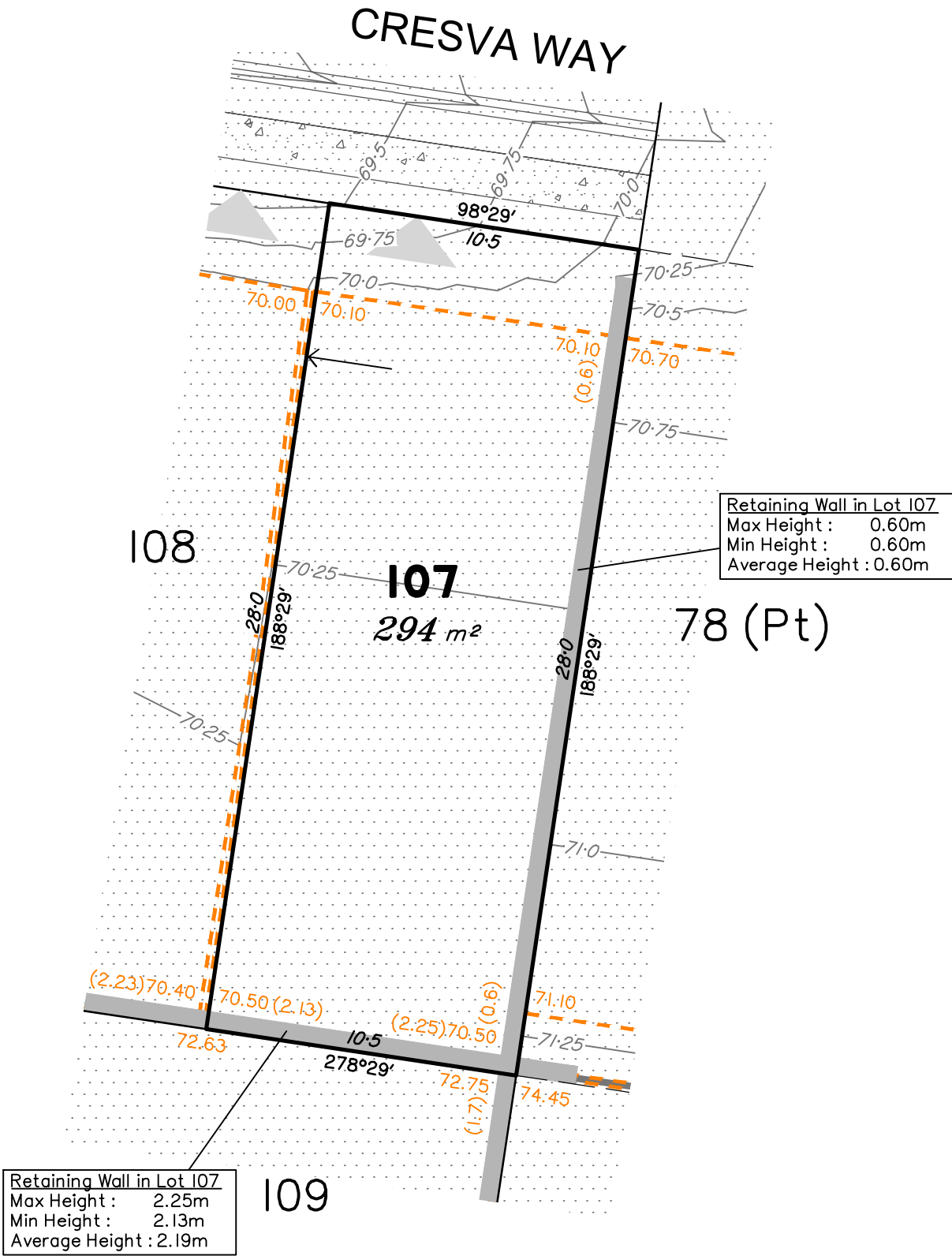
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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 106 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_106





LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- (1.5)
- XX.XX Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location
- Proposed Stairs or Access Location

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Silva
South Ripley

STAGE 1



ISSUES				CHECKED
NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	FS

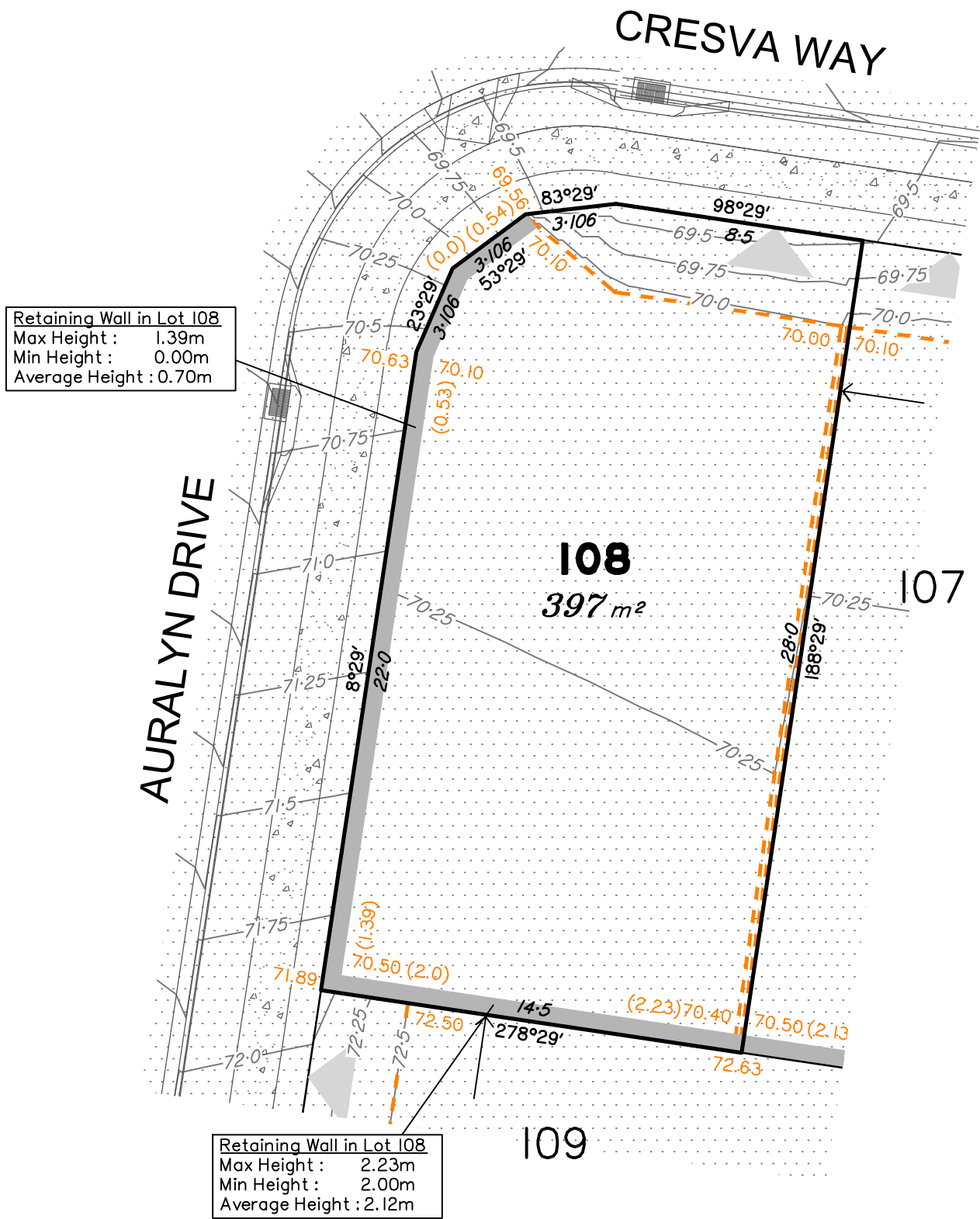
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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	PROPOSED LOT 107 ON SP363602
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	DISCLOSURE PLAN
DRAWING NO.	12186 S 03 DP A_107





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

XX.XX

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

*

Proposed Stairs or Access Location

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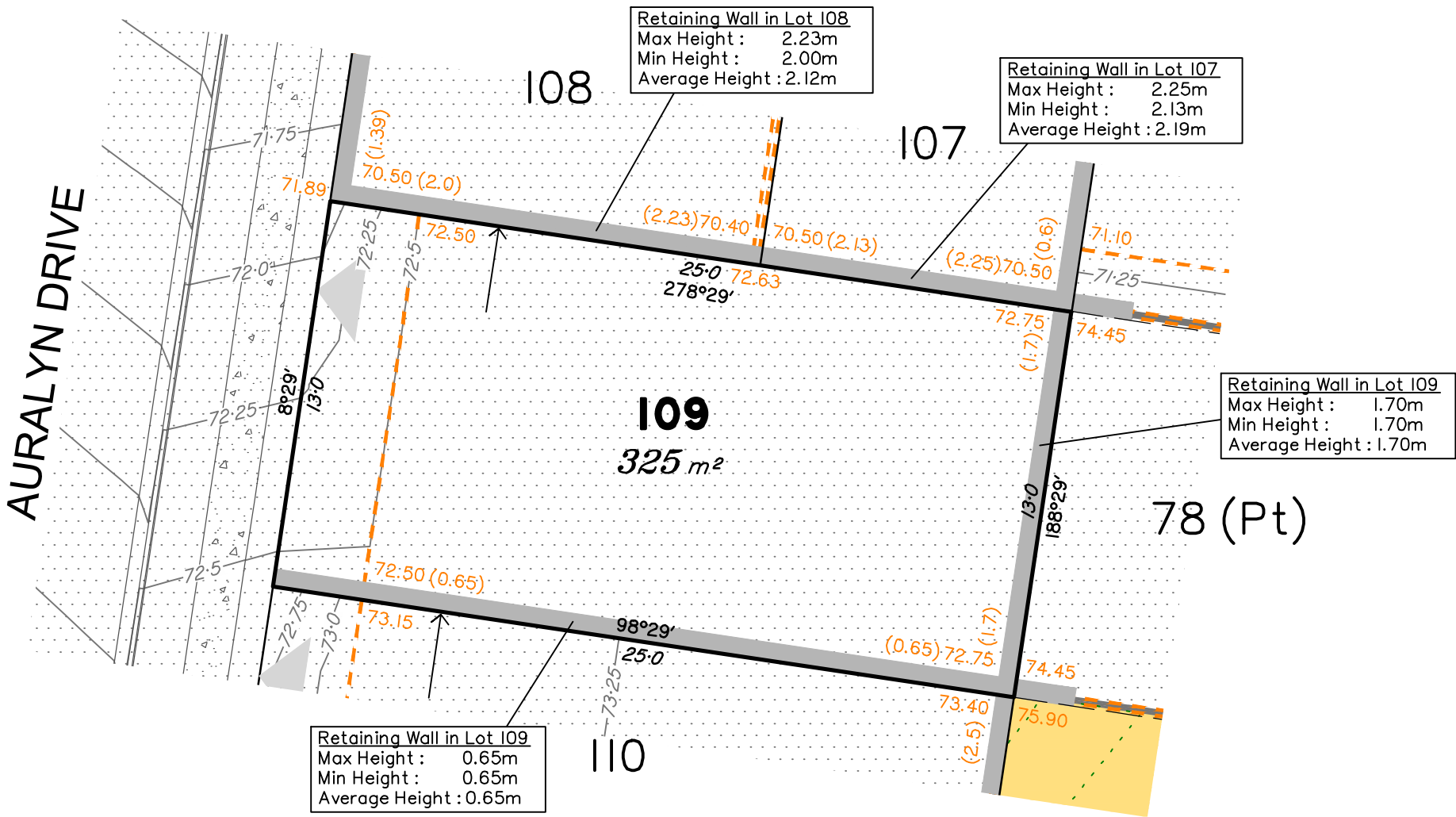
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Silva

South Ripley

STAGE 1



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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Silva

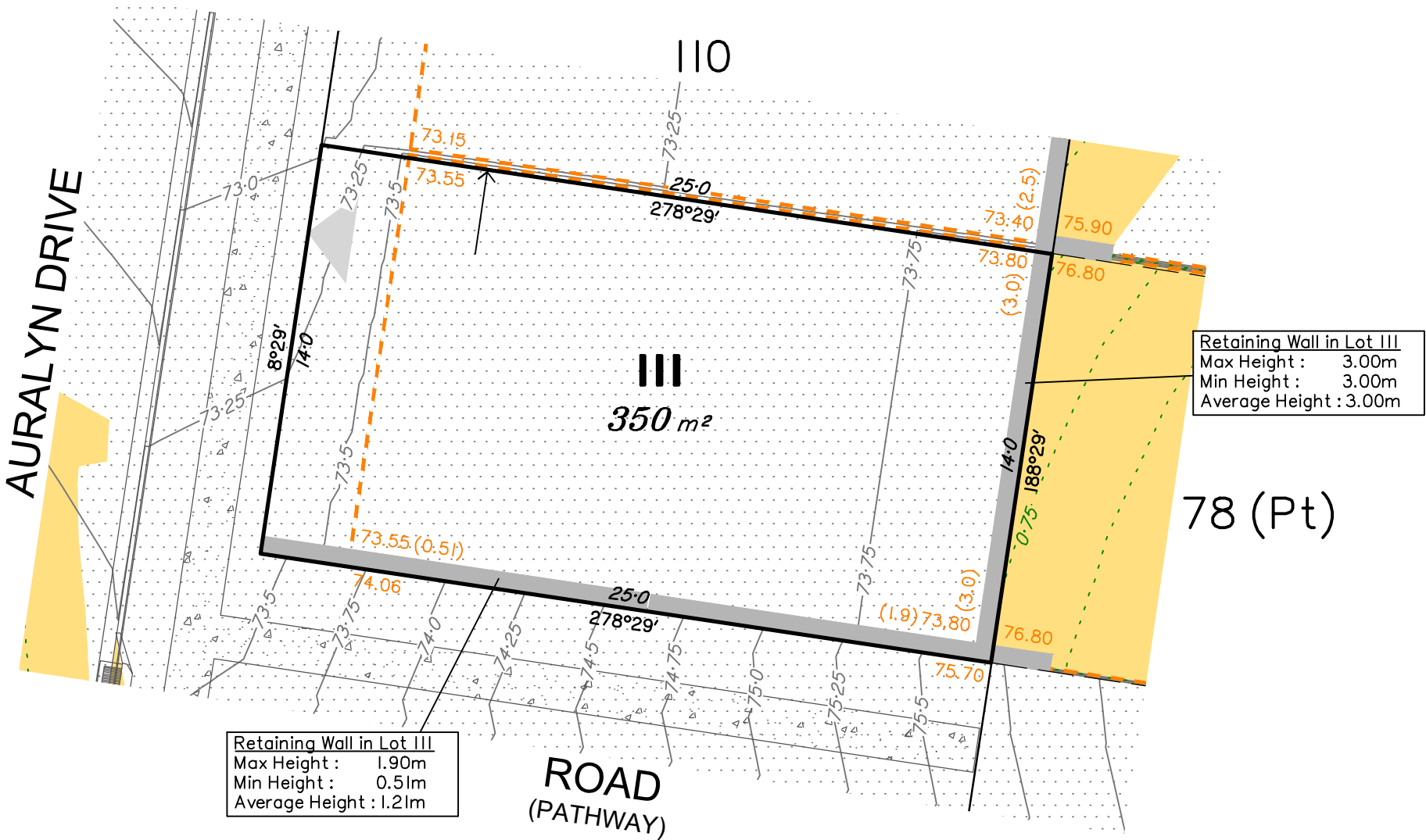
South Ripley

STAGE 1



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NO.	DRAWN	DATE	DESCRIPTION			ORIGIN OF LEVELS:	PM201131	DESCRIBED AS:	PART OF LOT 78 ON SP308008	DRAWING NO.	12186 S 03 DP A_109
A	MS	07.08.2026	ORIGINAL ISSUE			RL OF ORIGIN:	57.928	EXISTING TITLE REFERENCE:	51164425		
						CONTOUR INTERVAL:	0.25m	LOCALITY:	SOUTH RIPLEY	LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL
						SCALE	1:200				





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

XX.XX
Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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STAGE 1



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CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 111 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_111





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CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 112 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_112



Silva

South Ripley

LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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NOTES

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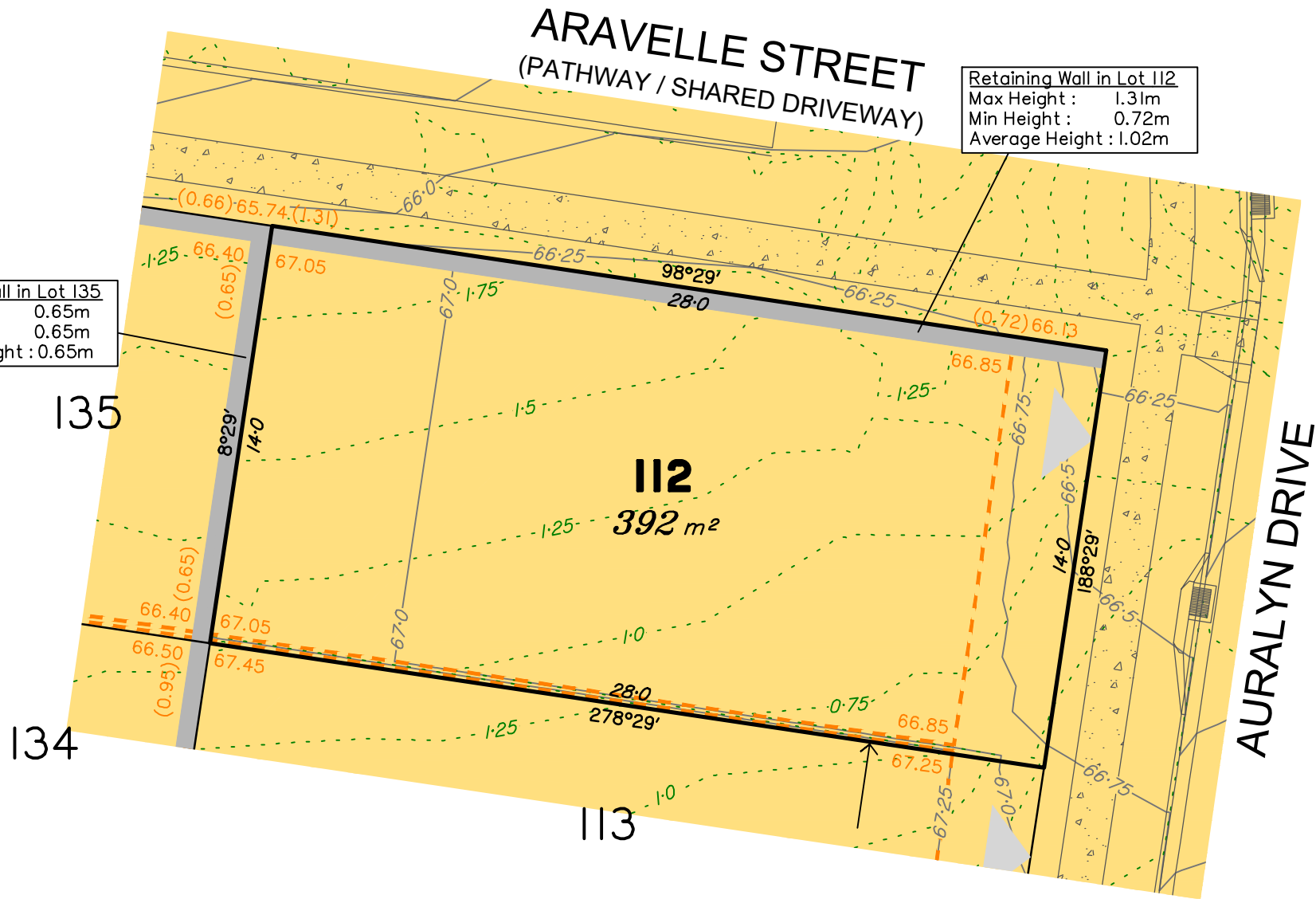
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STAGE 1



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SCALE	0 1 2 5m
1:200	

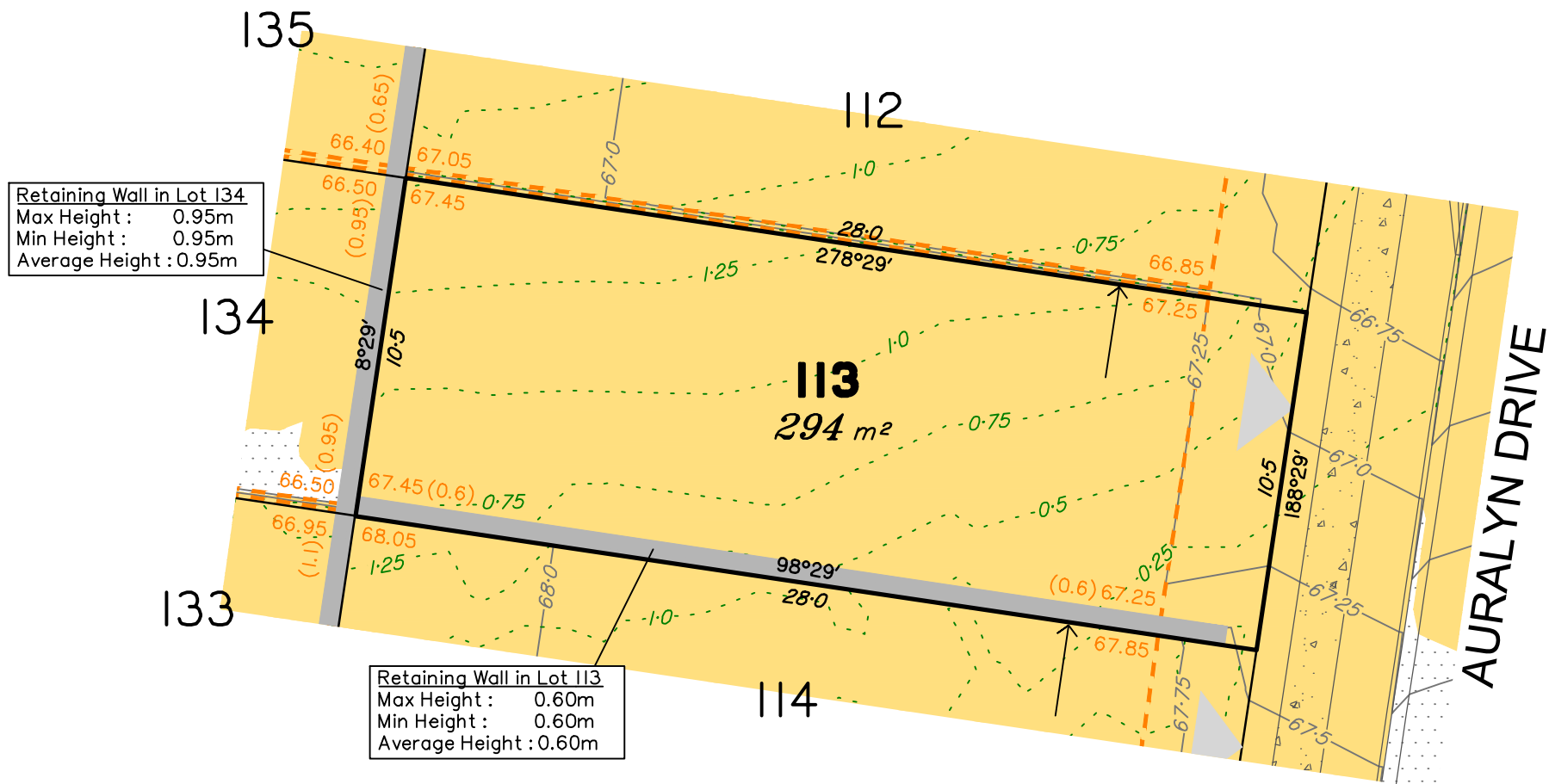
PLAN OF	
PROPOSED LOT 113 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_113



Silva

South Ripley



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location
- Proposed Stairs or Access Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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STAGE 1



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	MS	07.08.2026	ORIGINAL ISSUE

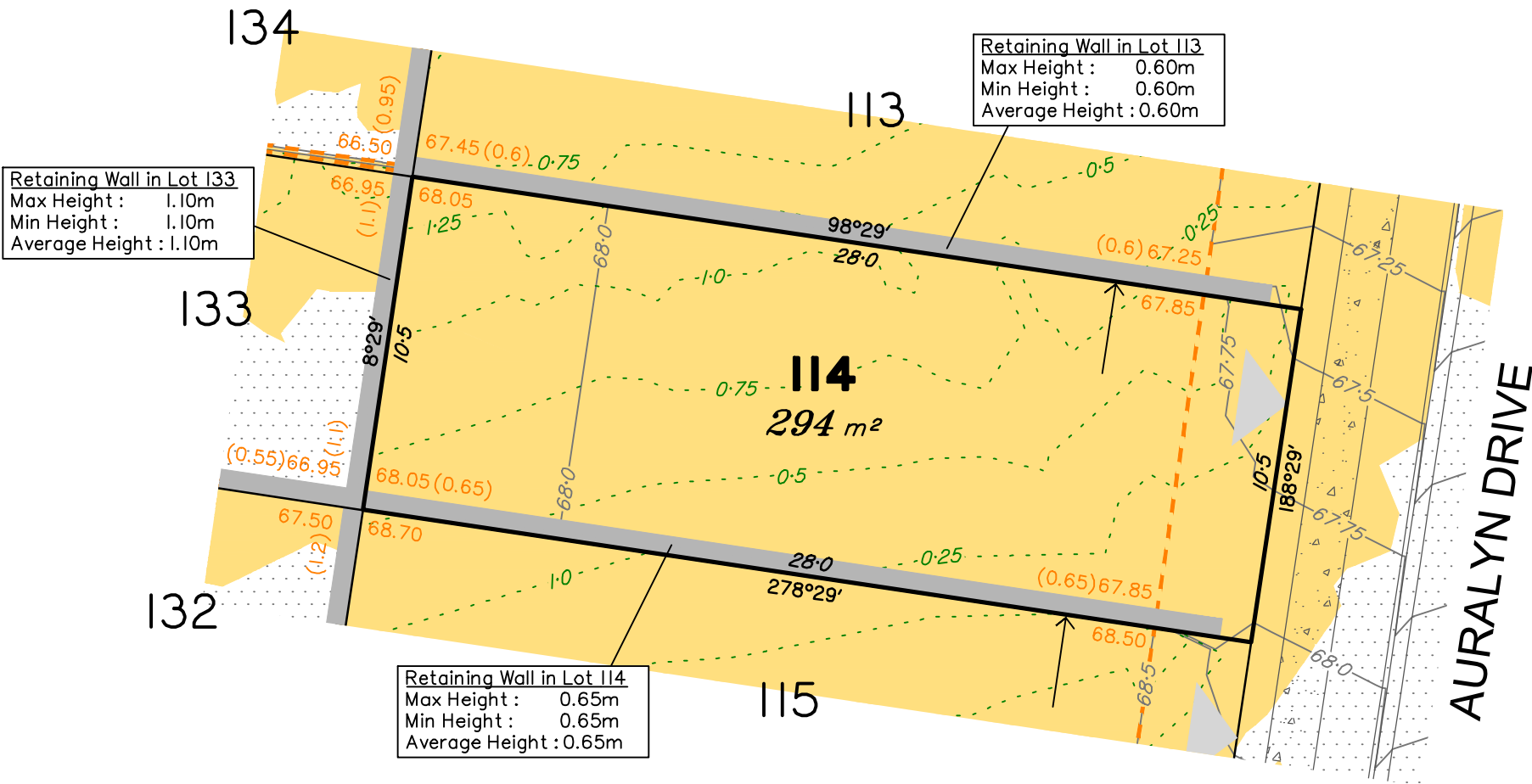
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FS

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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 114 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_114



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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NOTES

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ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	MS	07.08.2026	ORIGINAL ISSUE

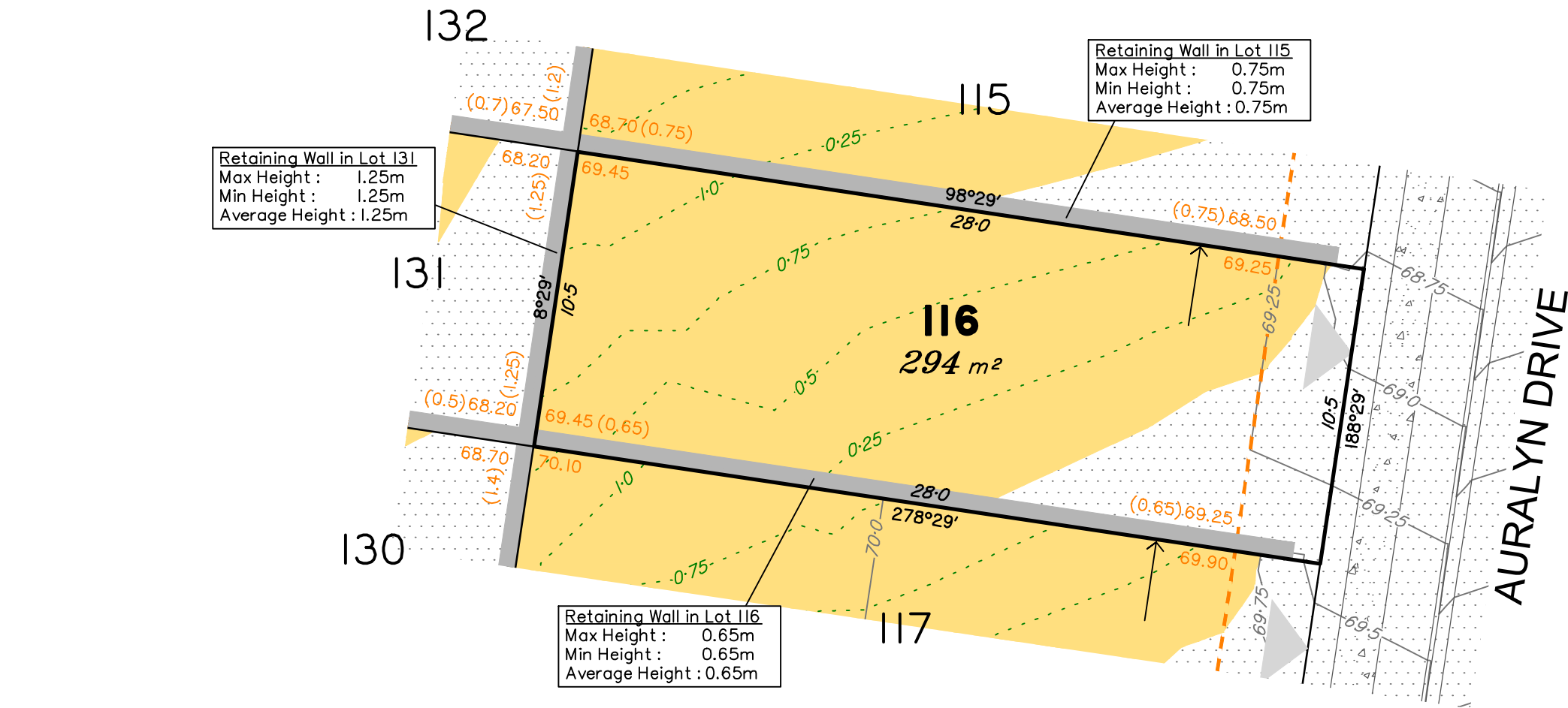
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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 116 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_116



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall
(Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location
- Proposed Stairs or Access Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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STAGE 1

Silva

South Ripley

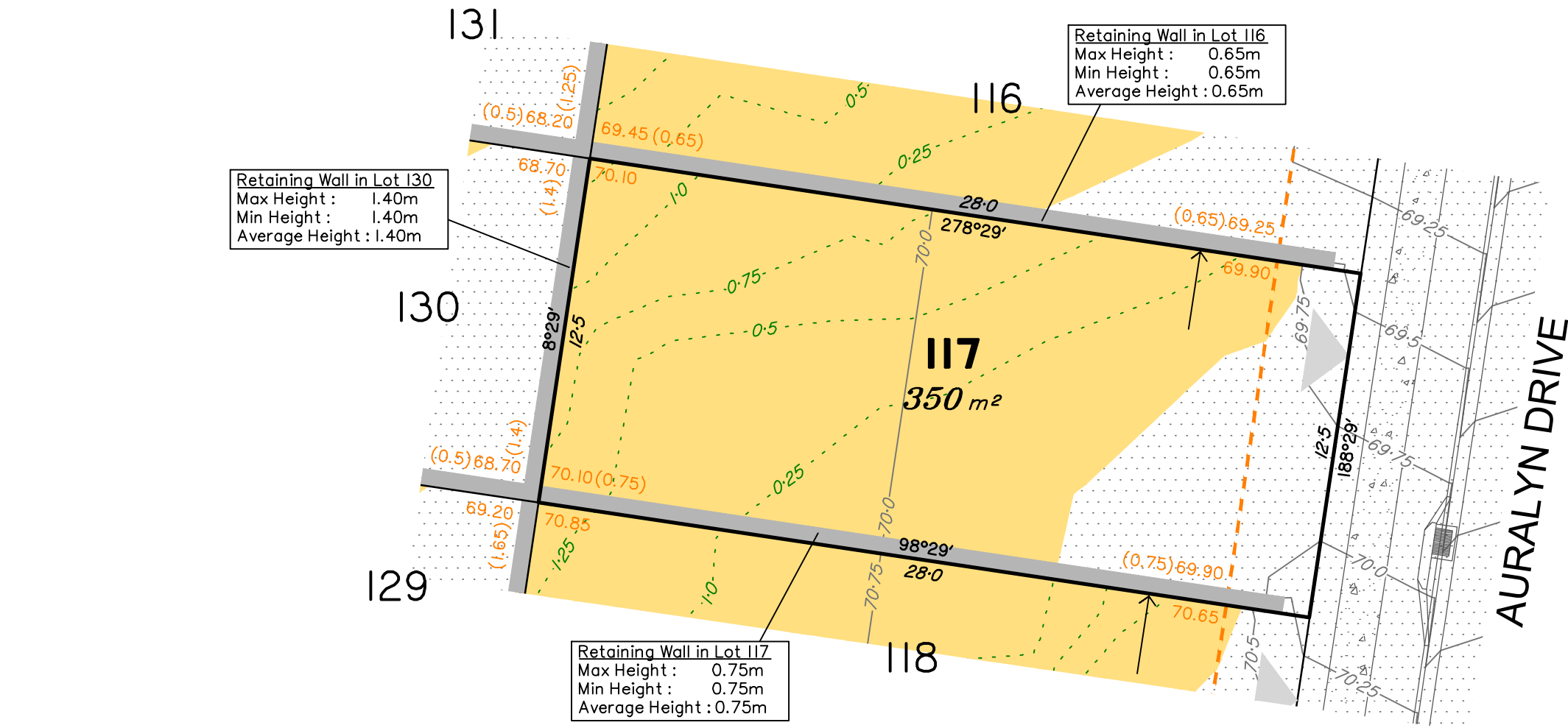
ISSUES				CHECKED FS
NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	

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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0125m 1:200

PLAN OF	
PROPOSED LOT 117 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_117



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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ISSUES				CHECKED FS
NO.	DRAWN	DATE	DESCRIPTION	
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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 118 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_118



Silva

South Ripley

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall
(Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location
- Proposed Stairs or Access Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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STAGE 1

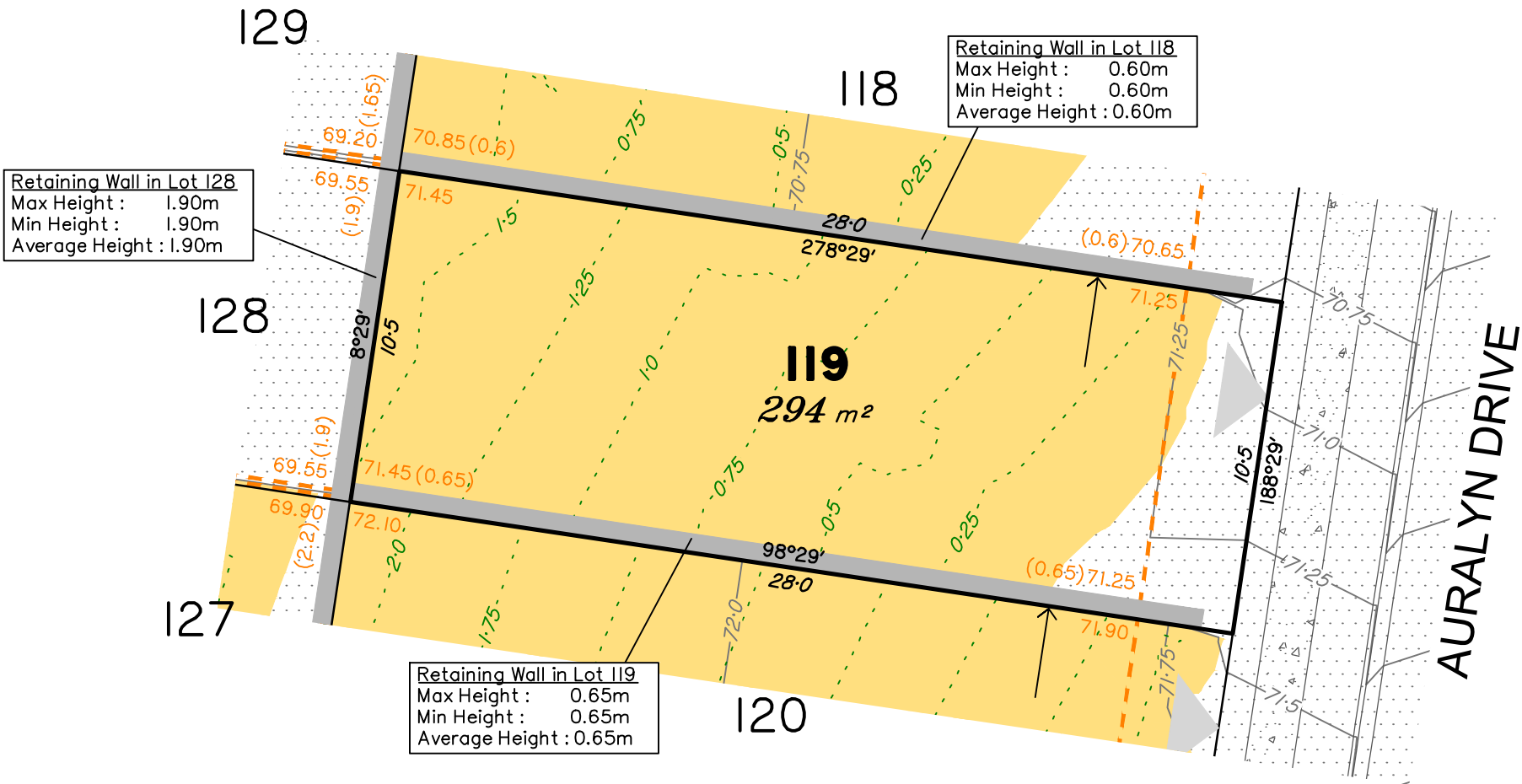
ISSUES				CHECKED FS
NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	

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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0125m 1:200

PLAN OF PROPOSED LOT 119 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE DISCLOSURE PLAN
DRAWING NO. 12186 S 03 DP A_119





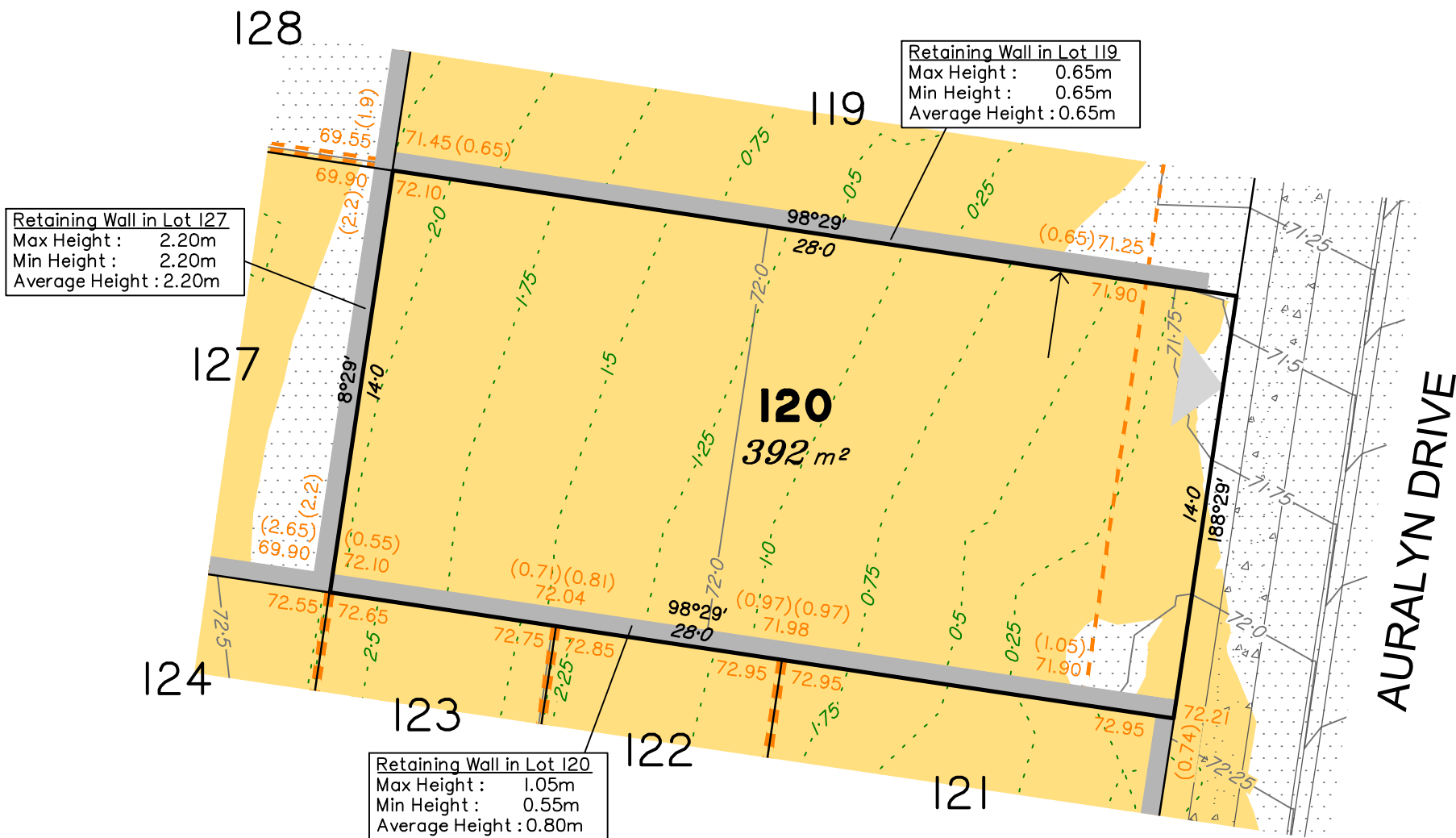
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NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	

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RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 120 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_120



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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NOTES

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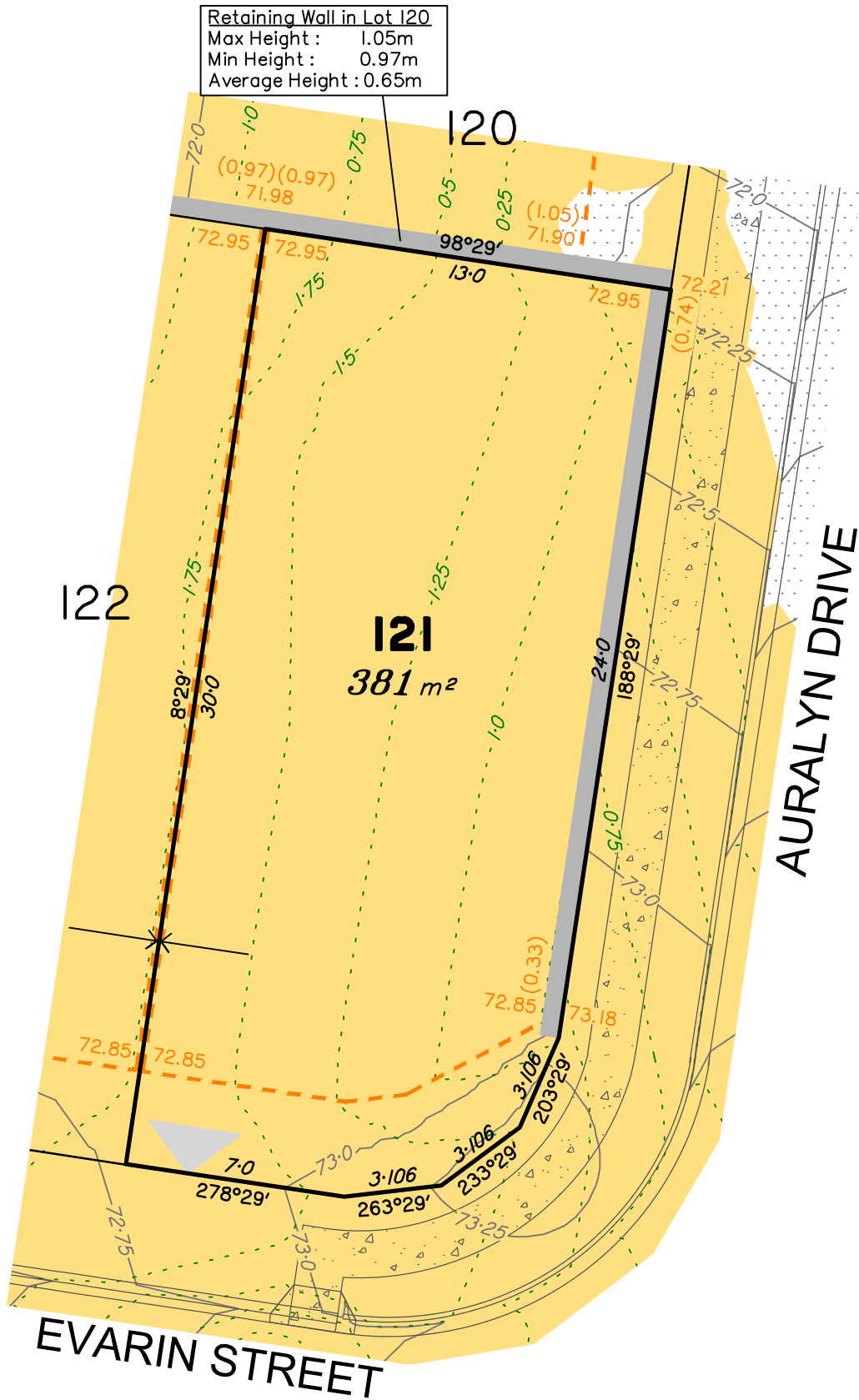
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LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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Silva

South Ripley

STAGE 1



ISSUES				CHECKED
NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	FS

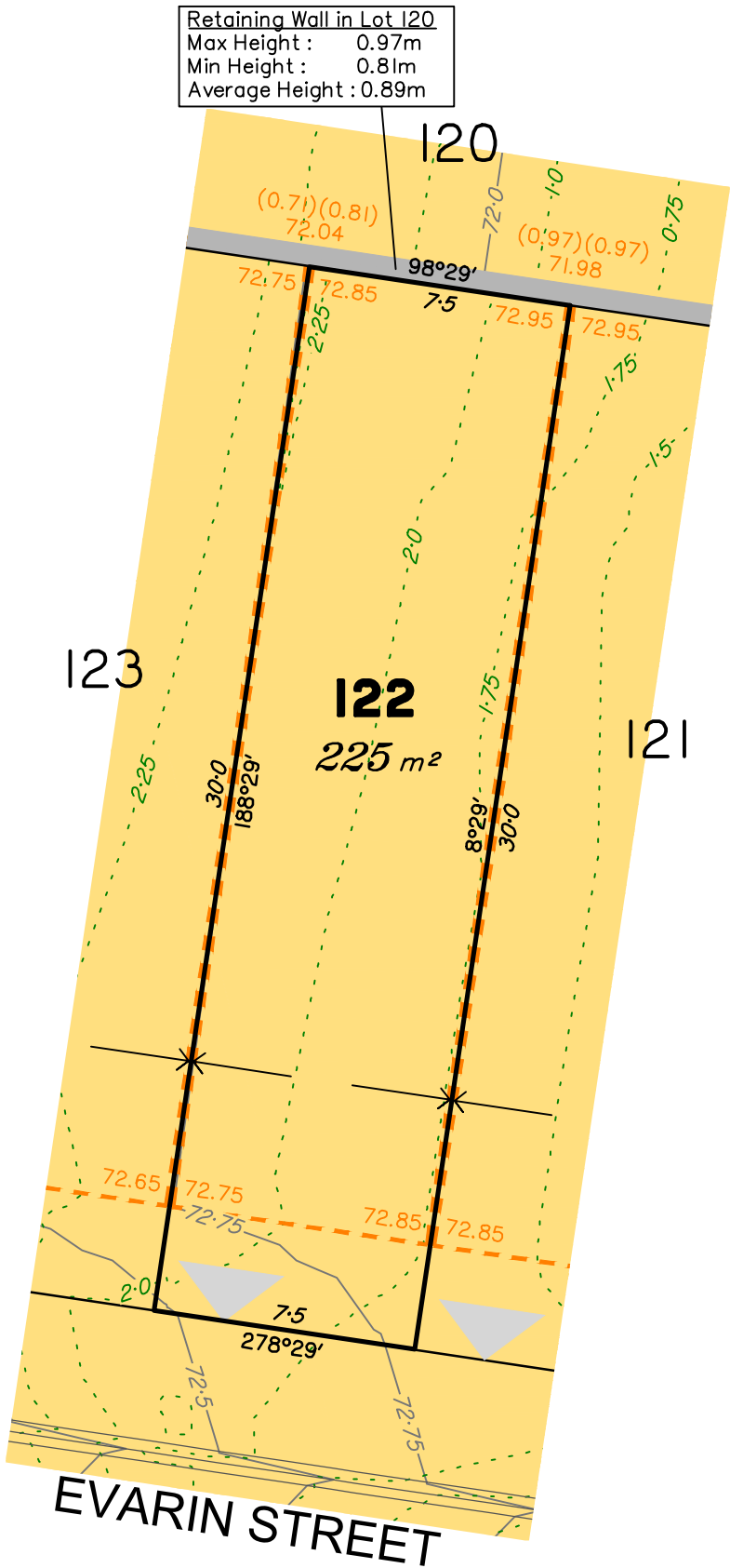
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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 121 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_121





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

(1.5)

Finished Design Surface Level

XX.XX

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

*

Proposed Stairs or Access Location

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Silva

South Ripley

STAGE 1



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	MS	07.08.2026	ORIGINAL ISSUE

CHECKED

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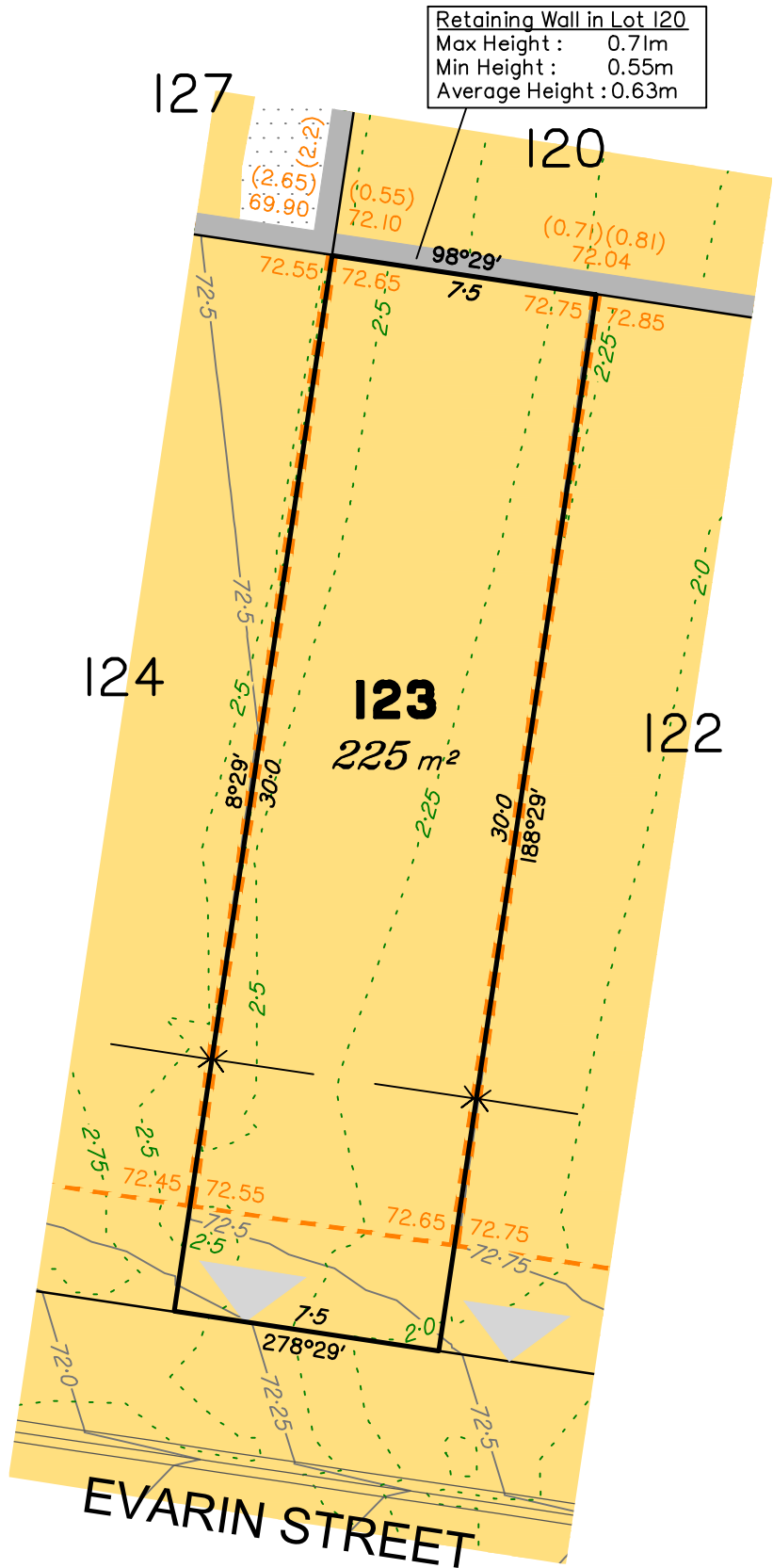
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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 122 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_122





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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Silva

South Ripley

STAGE 1



ISSUES				CHECKED
NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	FS

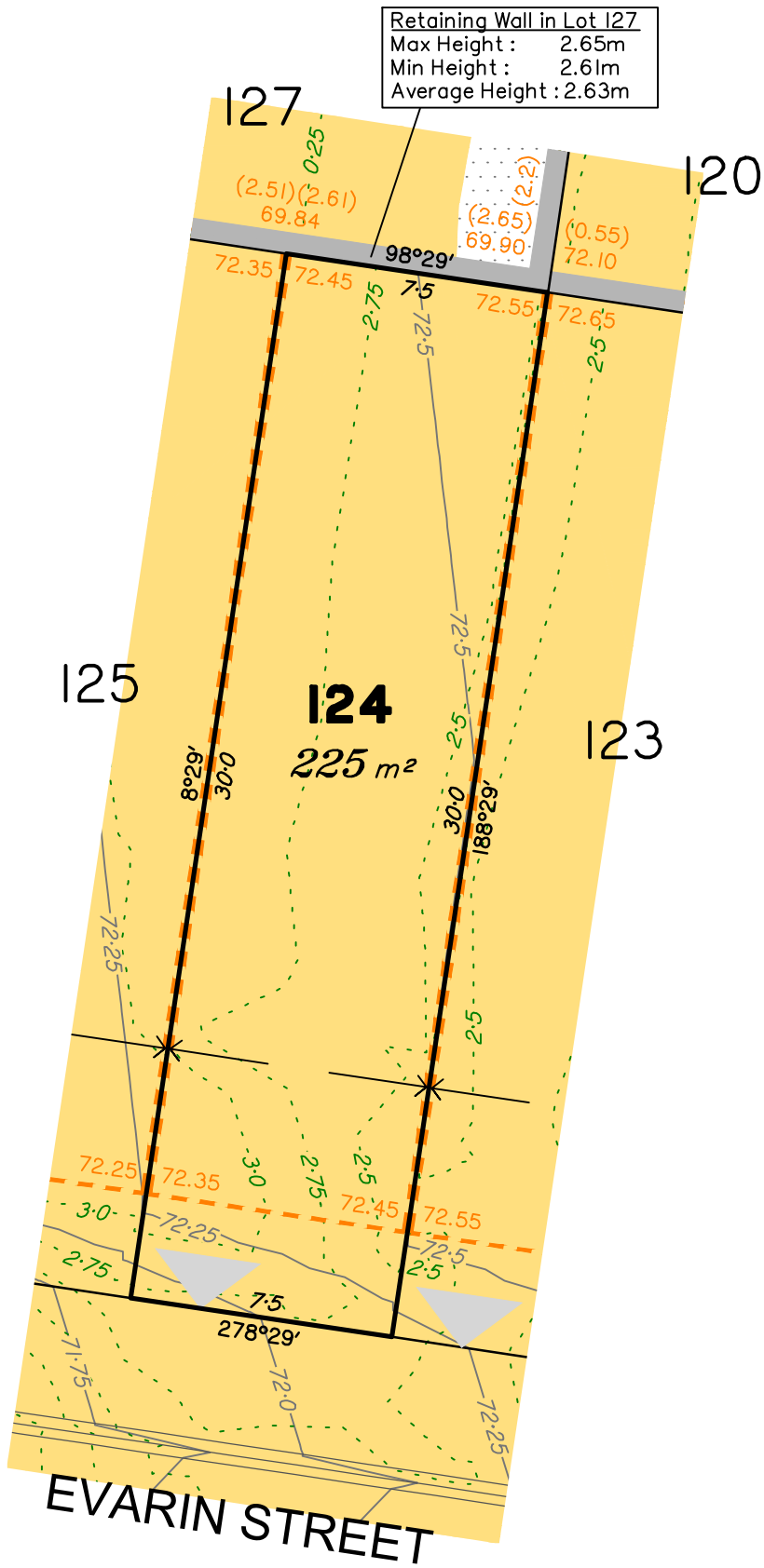
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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 123 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_123





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

(Not all items in this legend may be relevant to the lot shown on this plan)

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Silva

South Ripley

STAGE 1



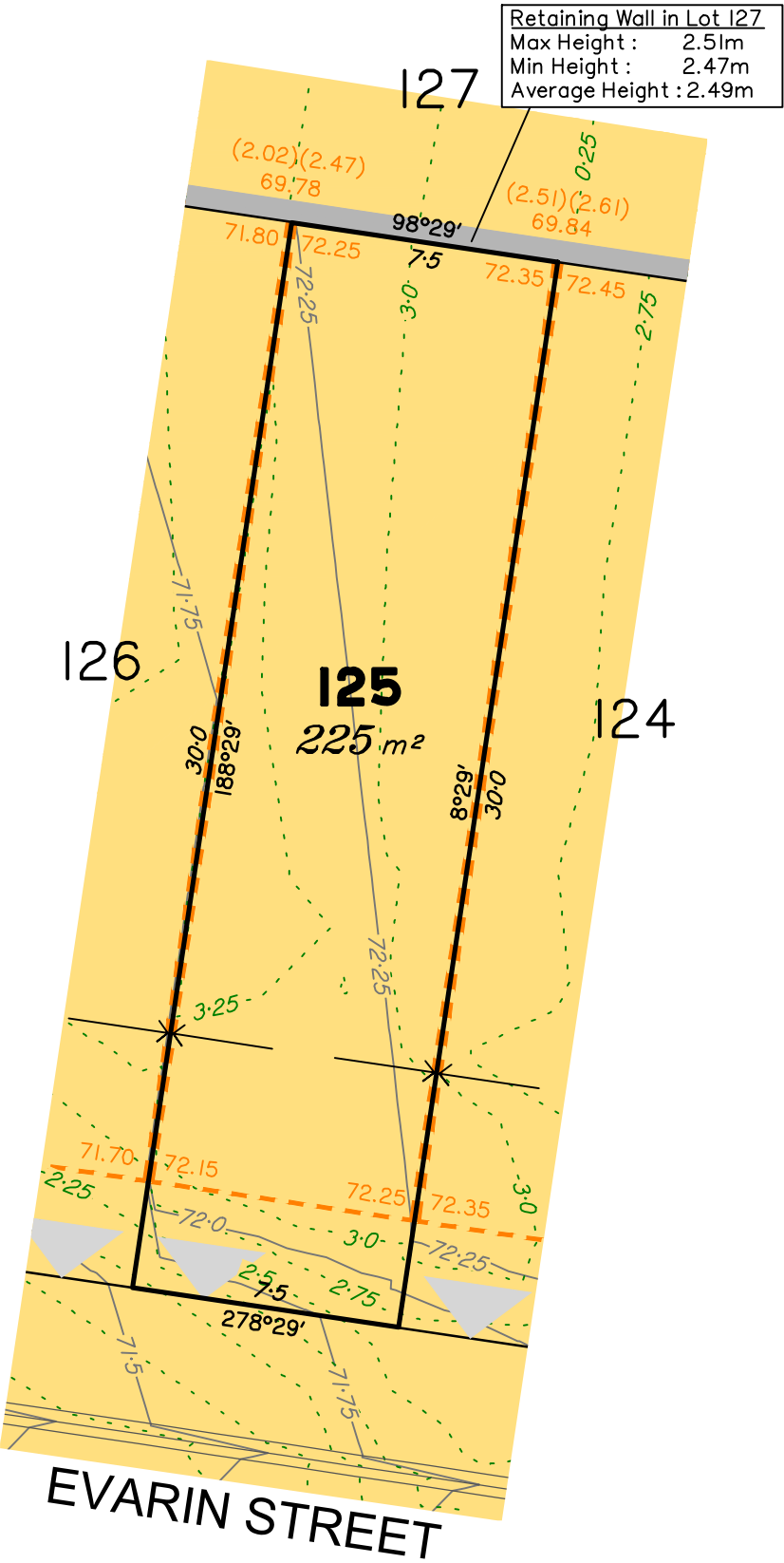
ISSUES				CHECKED	FS	THIS DISCLOSURE PLAN IS PREPARED FOR THE SOLE PURPOSE OF SATISFYING THE DISCLOSURE REQUIREMENTS OF THE LAND SALES ACT AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE, PARTICULARLY AS-CONSTRUCTED PURPOSES. THIS INFORMATION IS COMPILED FROM DESIGN PLANS ONLY, UNLESS OTHERWISE STATED, AND THEREFORE IS SUBJECT TO FINAL SURVEY AND CONSTRUCTION OF OPERATIONAL WORKS.
NO.	DRAWN	DATE	DESCRIPTION			
A	MS	07.08.2026	ORIGINAL ISSUE			

LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 124 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_124





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

(1.5)

Finished Design Surface Level

XX.XX

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

*

Proposed Stairs or Access Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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Silva

South Ripley

STAGE 1



ISSUES				CHECKED
NO.	DRAWN	DATE	DESCRIPTION	
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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 125 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_125





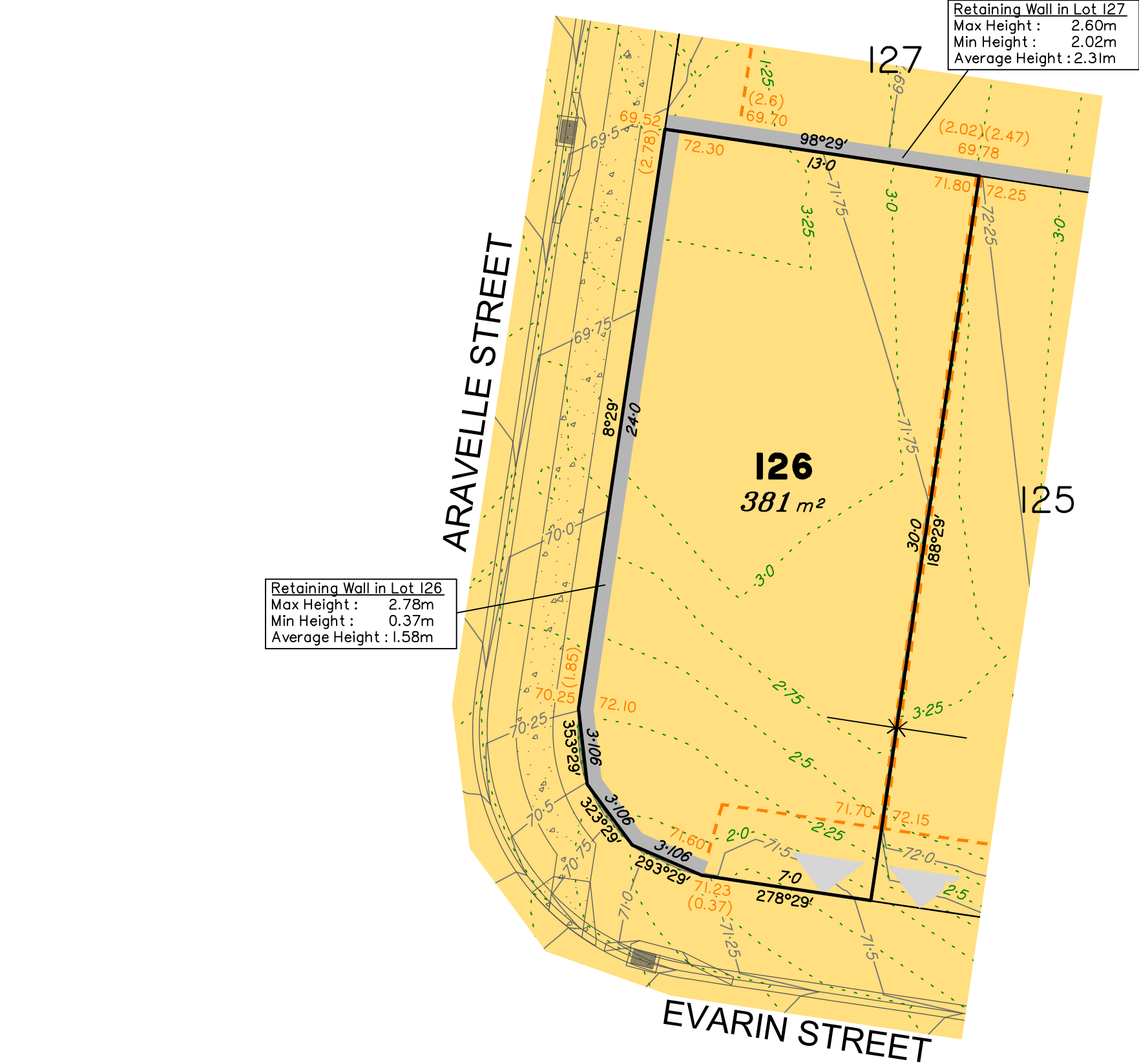
ISSUES				CHECKED	
NO.	DRAWN	DATE	DESCRIPTION		
A	MS	07.08.2026	ORIGINAL ISSUE	FS	

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LEVEL DATUM:	AHD Der.
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RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 126 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_126



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location
- Proposed Stairs or Access Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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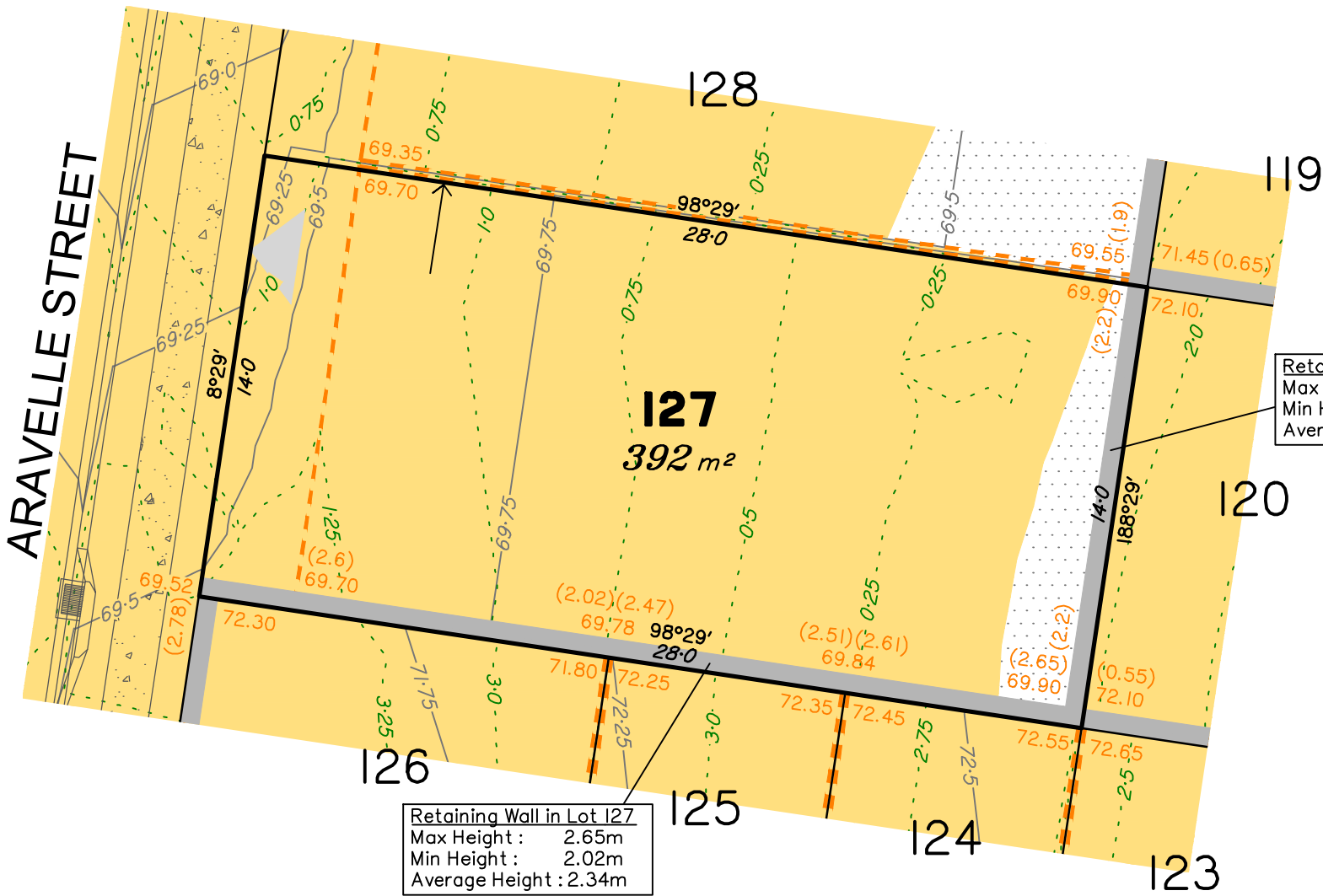
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All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Silva

South Ripley

STAGE 1



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

(1.5)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

*

Proposed Stairs or Access Location

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Silva

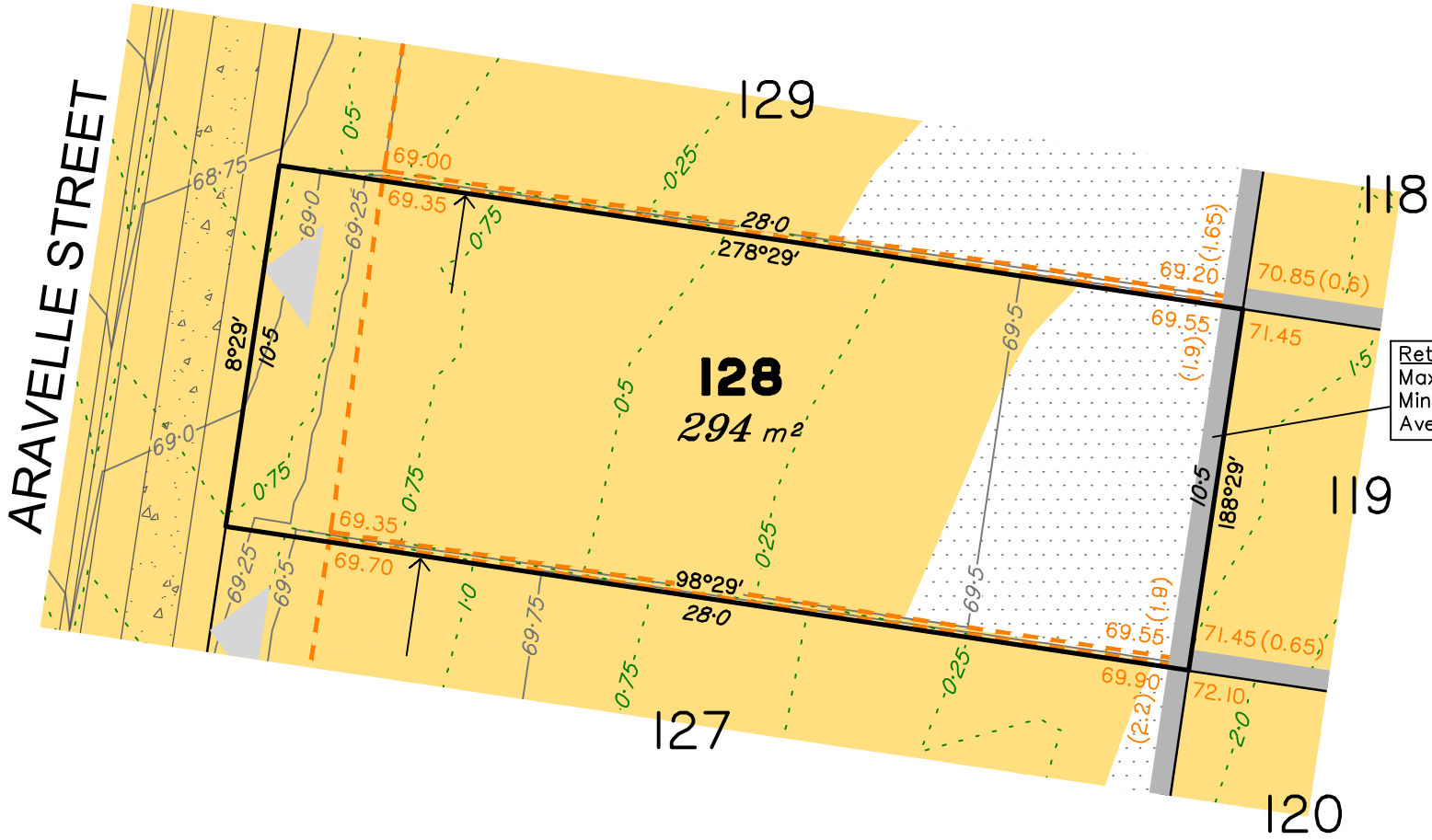
South Ripley

STAGE 1



ISSUES				THIS DISCLOSURE PLAN IS PREPARED FOR THE SOLE PURPOSE OF SATISFYING THE DISCLOSURE REQUIREMENTS OF THE LAND SALES ACT AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE, PARTICULARLY AS-CONSTRUCTED PURPOSES. THIS INFORMATION IS COMPILED FROM DESIGN PLANS ONLY, UNLESS OTHERWISE STATED, AND THEREFORE IS SUBJECT TO FINAL SURVEY AND CONSTRUCTION OF OPERATIONAL WORKS.	LEVEL DATUM:		PLAN OF		DRAWING TITLE		
NO.	DRAWN	DATE	DESCRIPTION		ORIGIN OF LEVELS:		DESCRIBED AS:		DISCLOSURE PLAN		
A	MS	07.08.2026	ORIGINAL ISSUE		CHECKED FS	AHD Der. PM201131 57.928		PROPOSED LOT 127 ON SP363602 PART OF LOT 78 ON SP308008			
					CONTOUR INTERVAL:		EXISTING TITLE REFERENCE:		DRAWING NO.		
					SCALE 1:200		LOCALITY: SOUTH RIPLEY		12186 S 03 DP A 127		





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

XX.XX
Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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STAGE 1



ISSUES				CHECKED FS
NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	

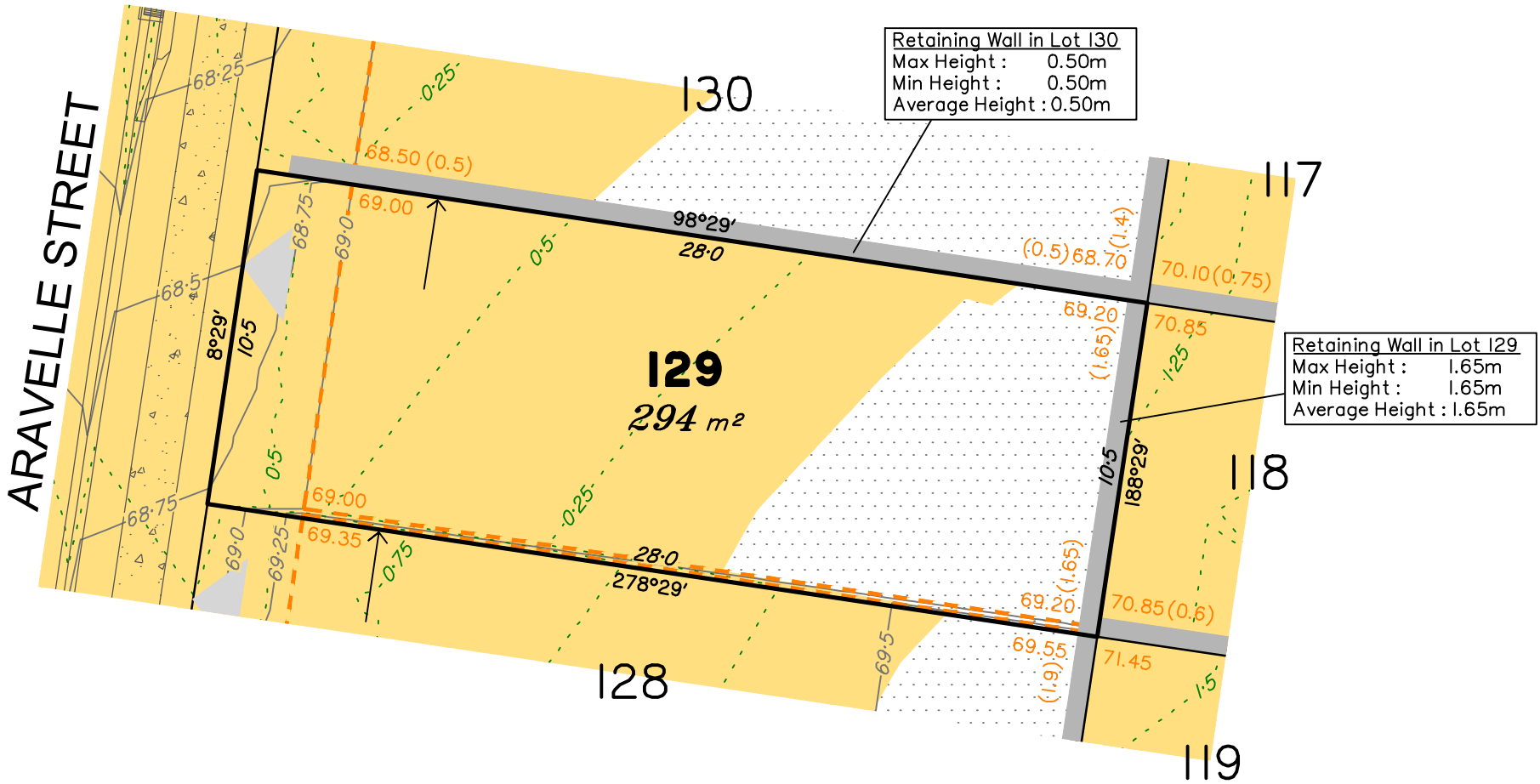
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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 128 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_128





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

XX.XX
Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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Silva

South Ripley

STAGE 1



ISSUES				CHECKED
NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	FS

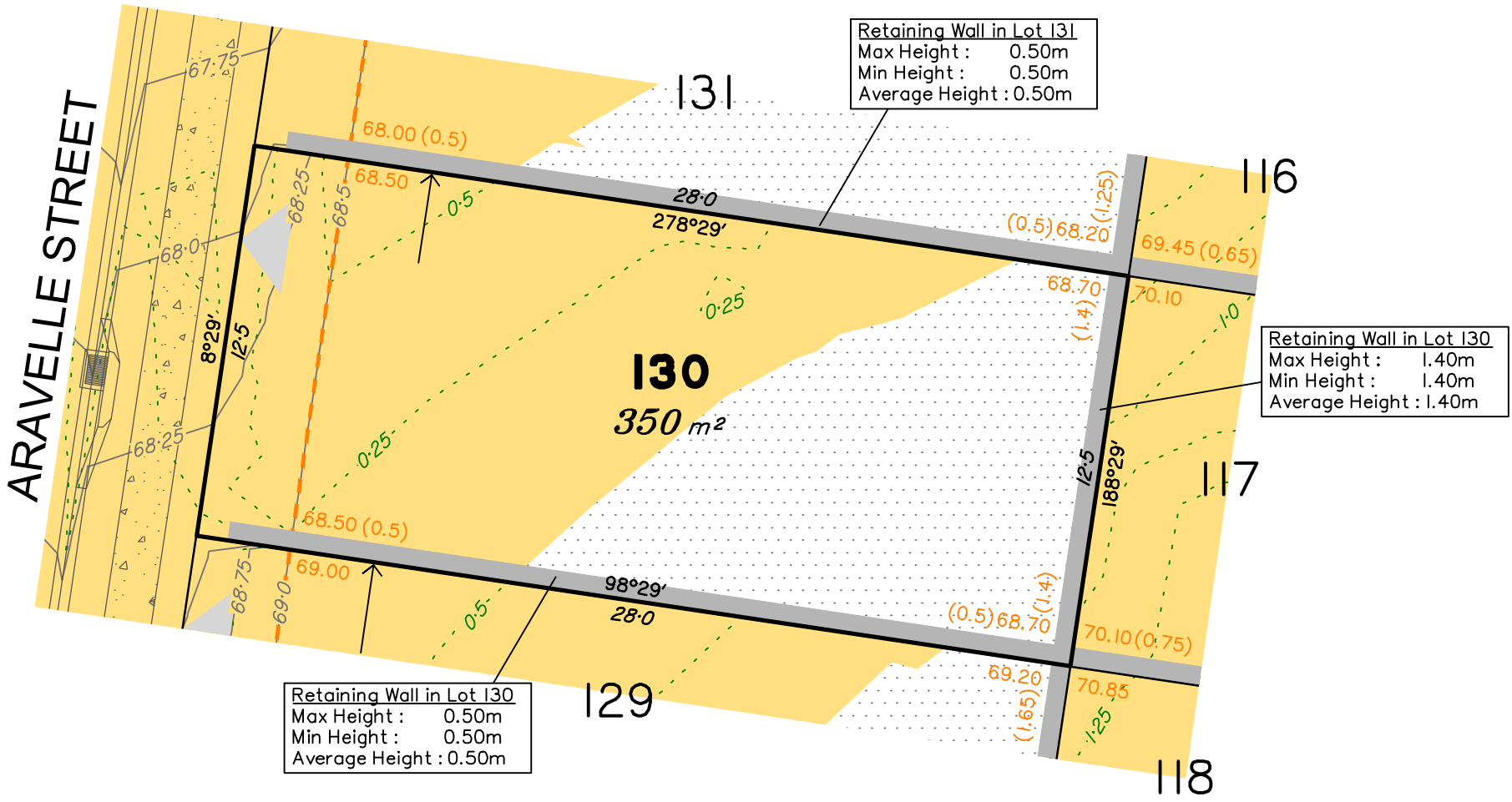
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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 129 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_129





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

XX.XX
Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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Silva

South Ripley

STAGE 1



ISSUES				CHECKED
NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	FS

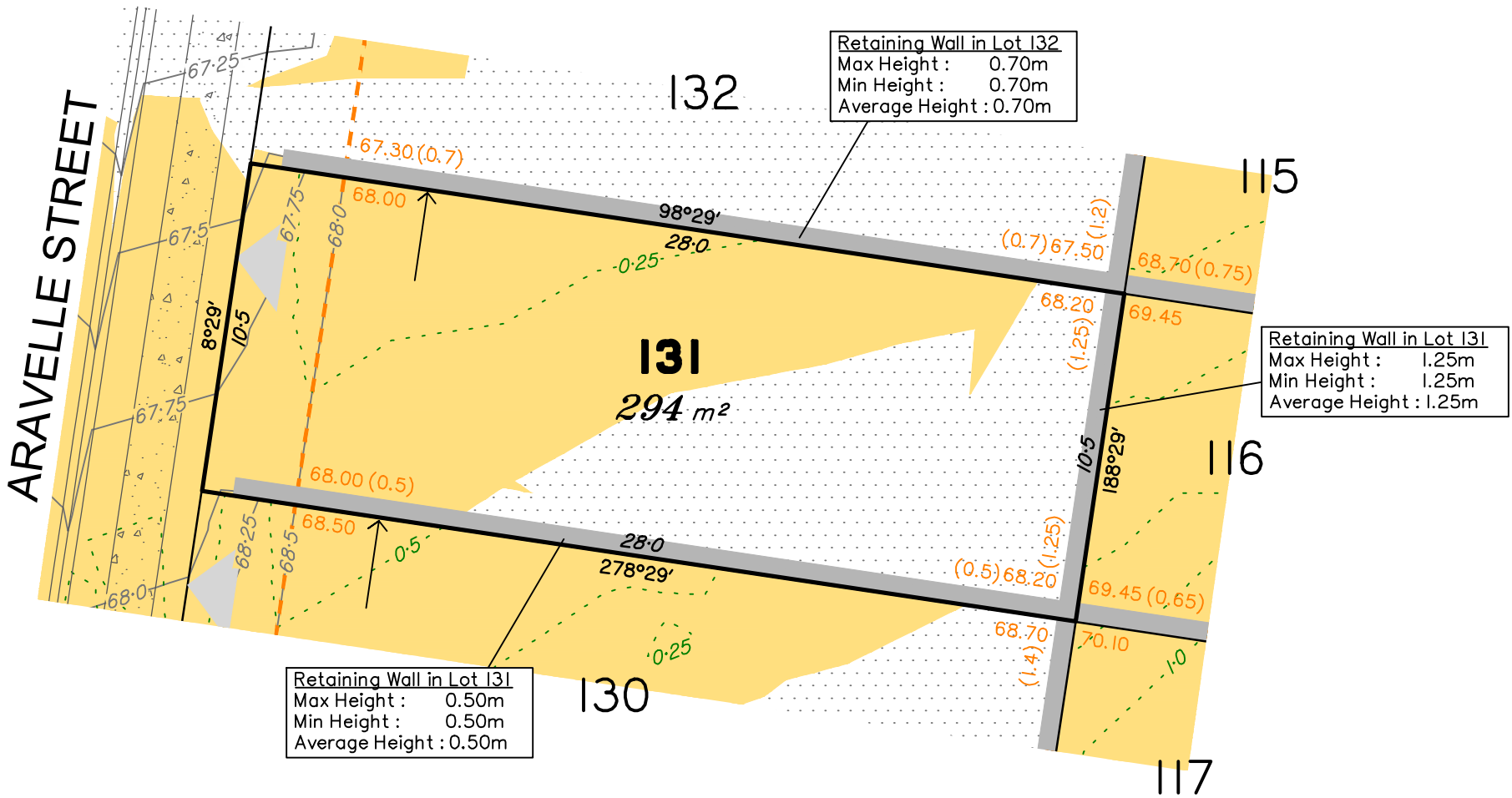
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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 130 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_130





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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Silva

South Ripley

STAGE 1



ISSUES				CHECKED
NO.	DRAWN	DATE	DESCRIPTION	
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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 131 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_131



STAGE 1



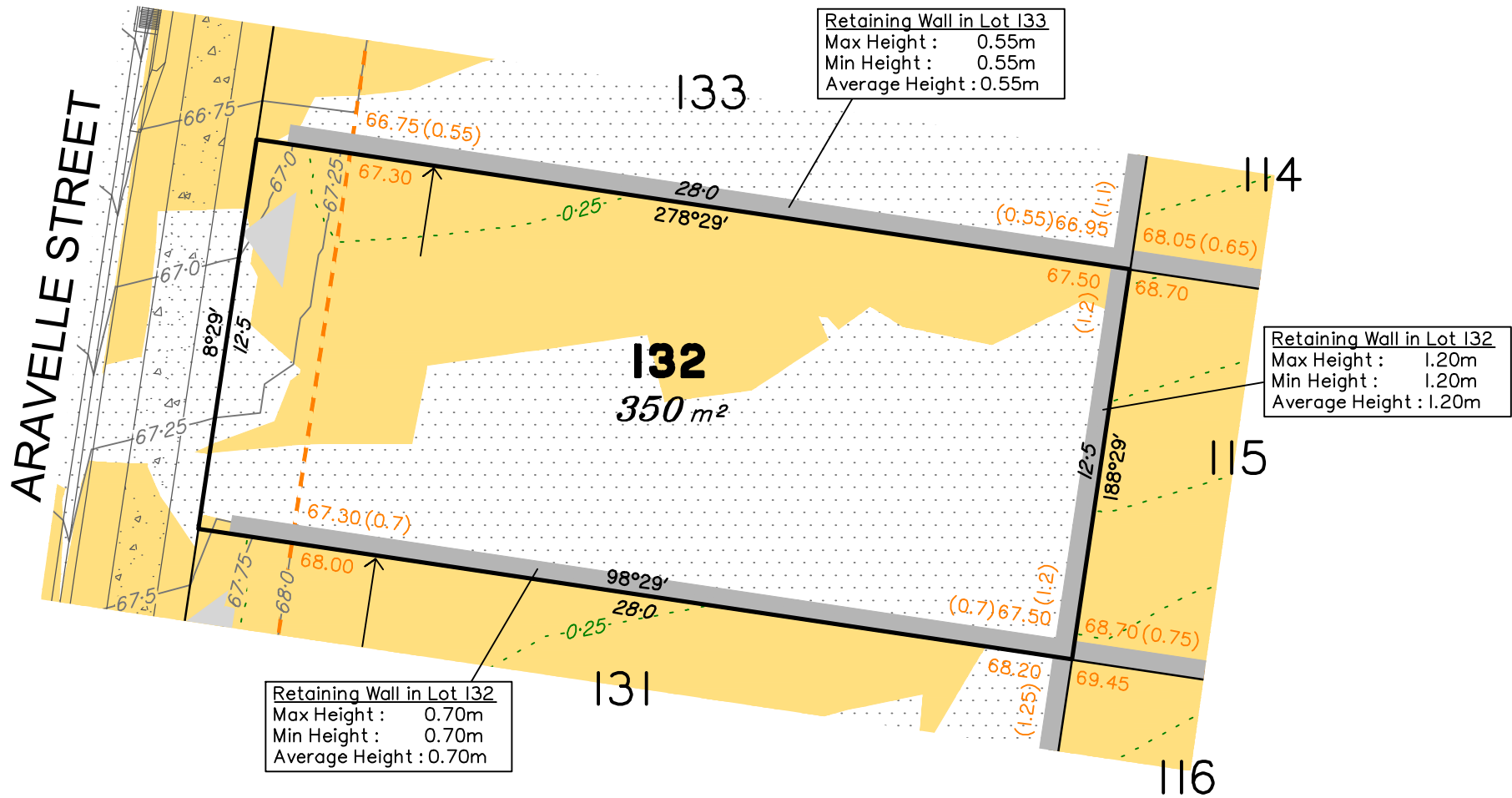
ISSUES				CHECKED FS
NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	

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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 132 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_132



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

Finished Design Surface Level
XX.XX

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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NOTES

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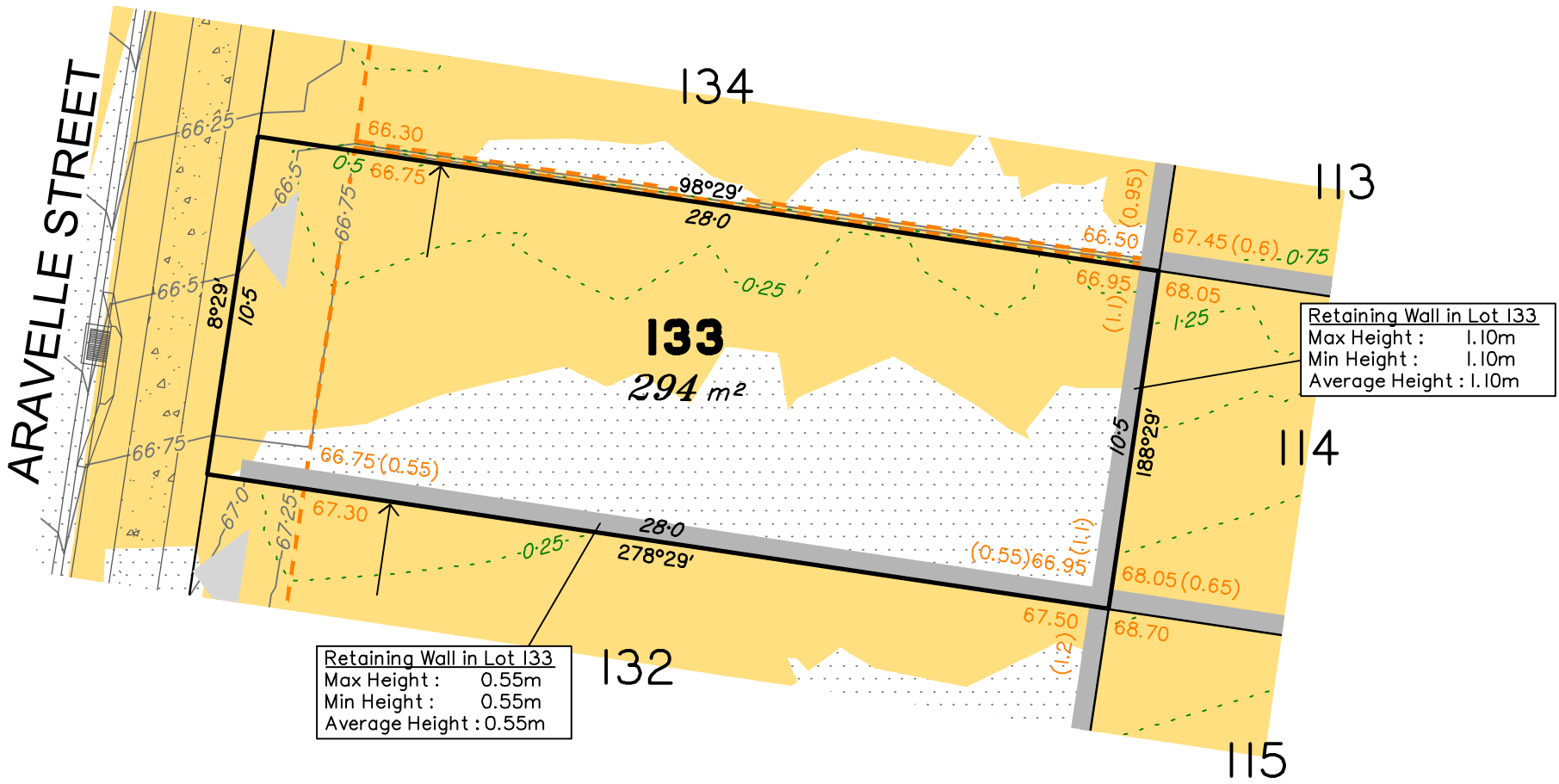
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LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

XX.XX
Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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Silva

South Ripley

STAGE 1



ISSUES				CHECKED
NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	FS

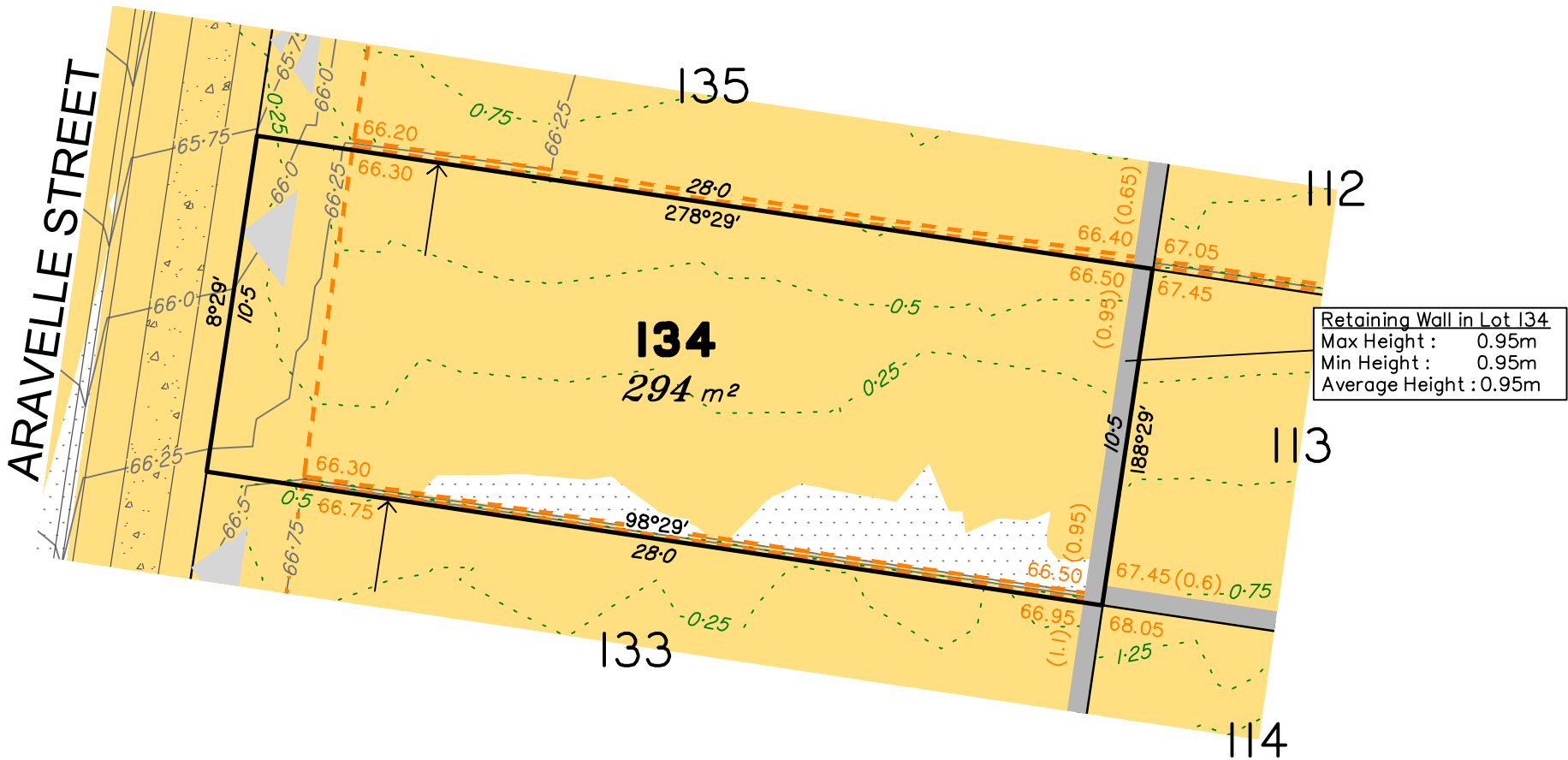
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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 133 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_133





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

XX.XX
Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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Silva

South Ripley

STAGE 1



ISSUES				CHECKED FS
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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 134 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_134



STAGE 1



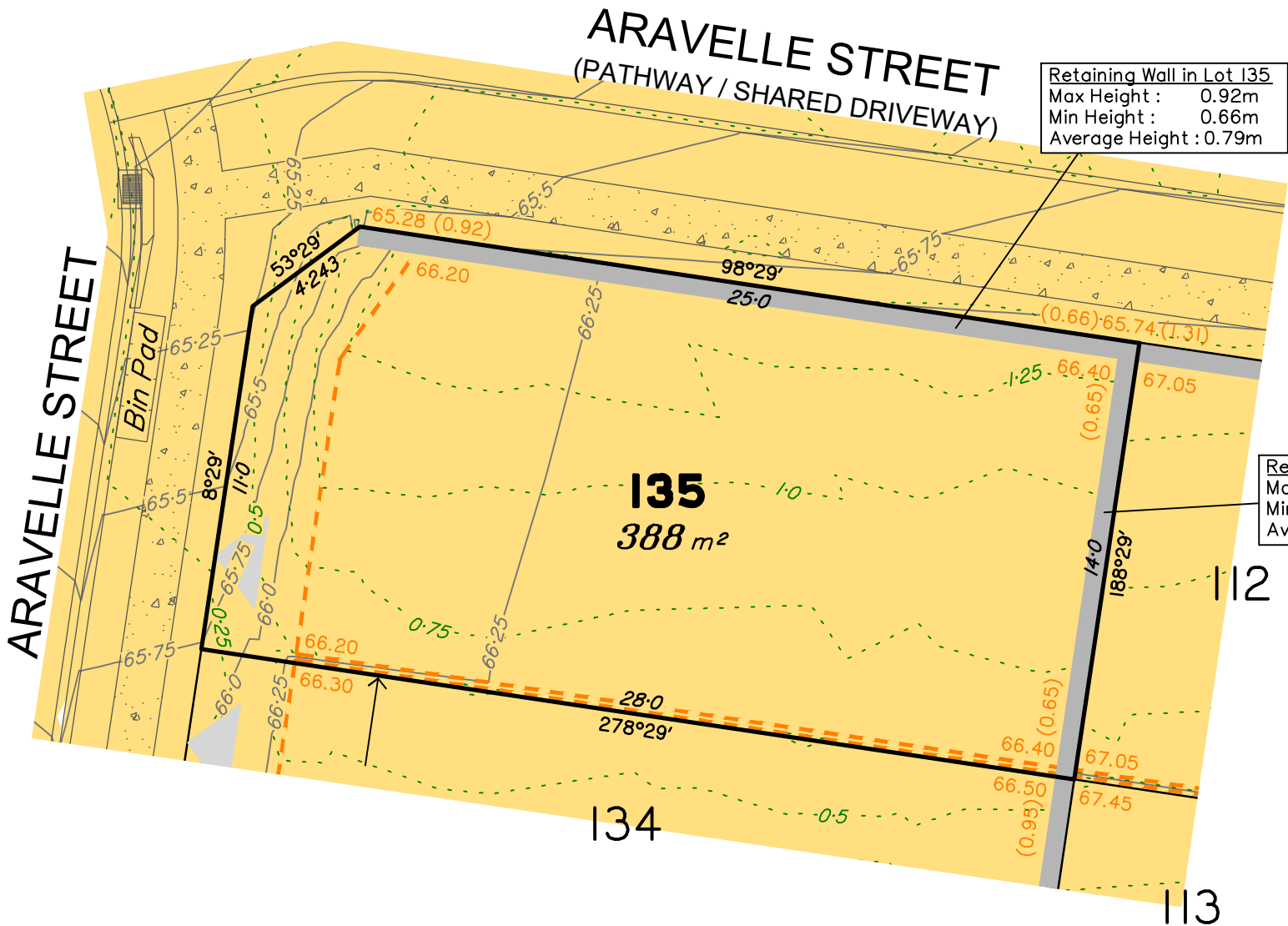
ISSUES				
NO.	DRAWN	DATE	DESCRIPTION	CHECKED
A	MS	07.08.2026	ORIGINAL ISSUE	FS

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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 135 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_135



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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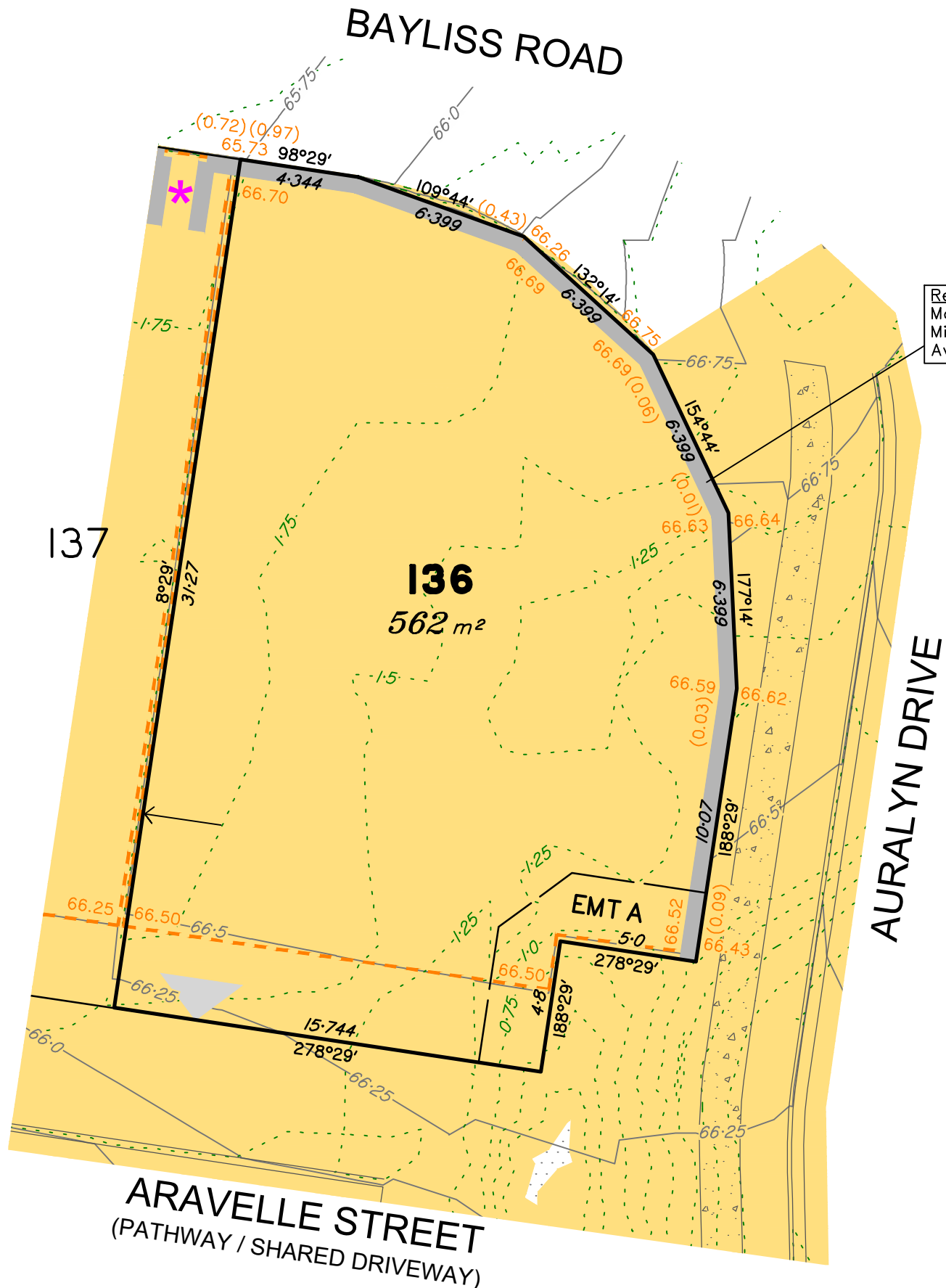
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LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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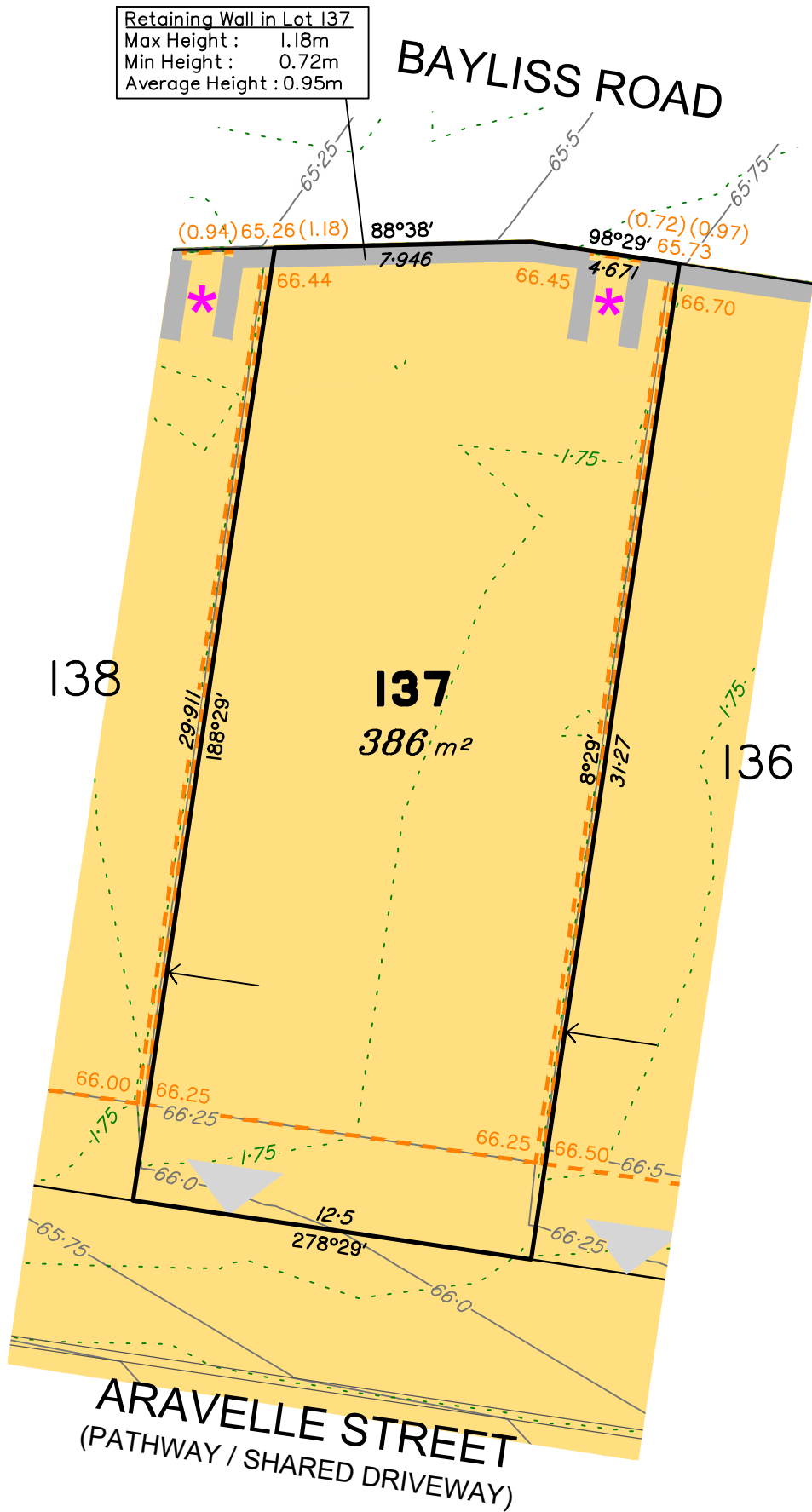
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Lot 136 contains Easement A on SP363602 for electrical services benefiting Energex.

Silva

South Ripley



Retaining Wall in Lot 137
Max Height : 1.18m
Min Height : 0.72m
Average Height : 0.95m

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
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Silva
South Ripley

STAGE 1



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	MS	07.08.2026	ORIGINAL ISSUE

CHECKED FS

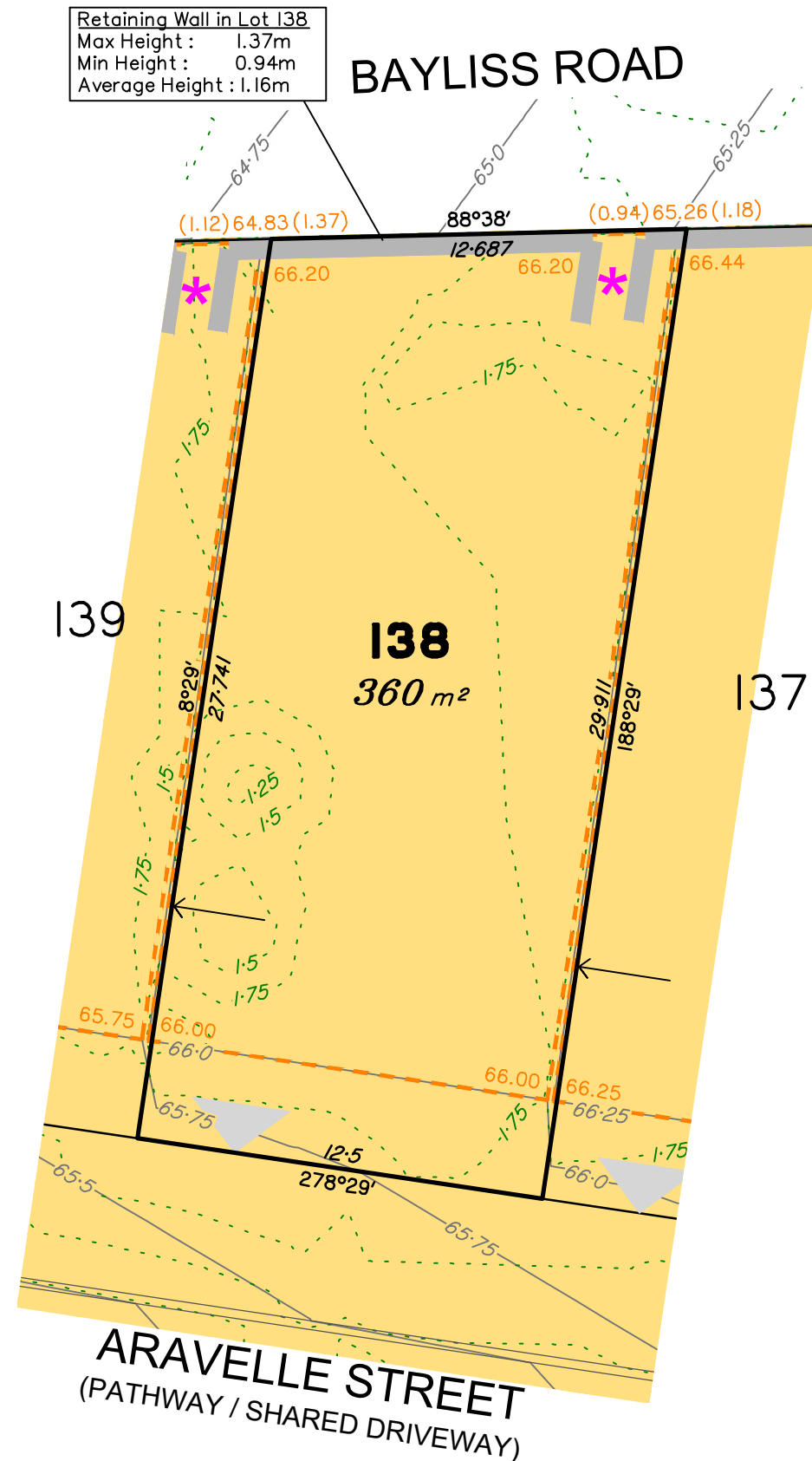
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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 137 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_137





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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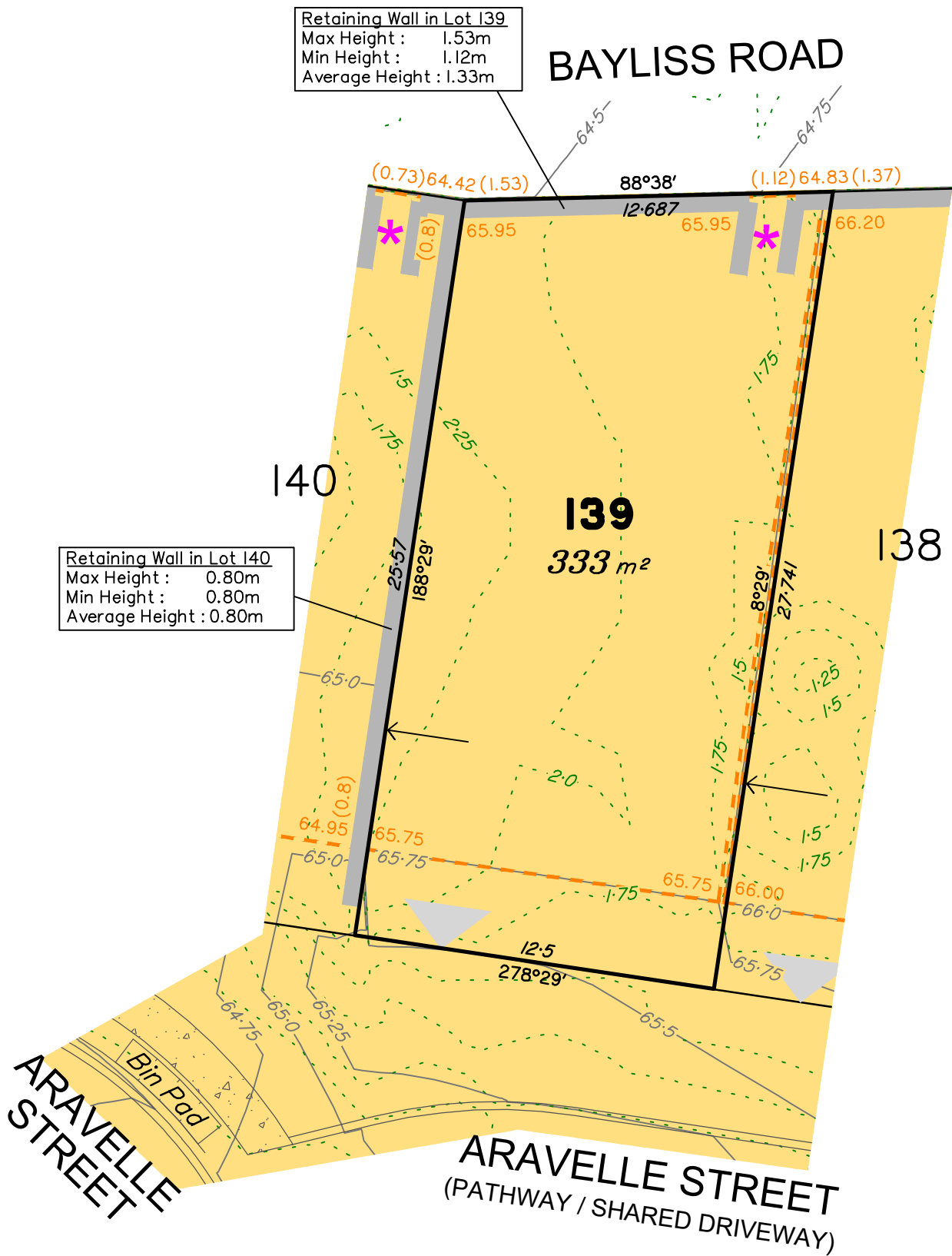
Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Silva

South Ripley

STAGE 1



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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Silva

South Ripley

STAGE 1



ISSUES				
NO.	DRAWN	DATE	DESCRIPTION	CHECKED
A	MS	07.08.2026	ORIGINAL ISSUE	FS

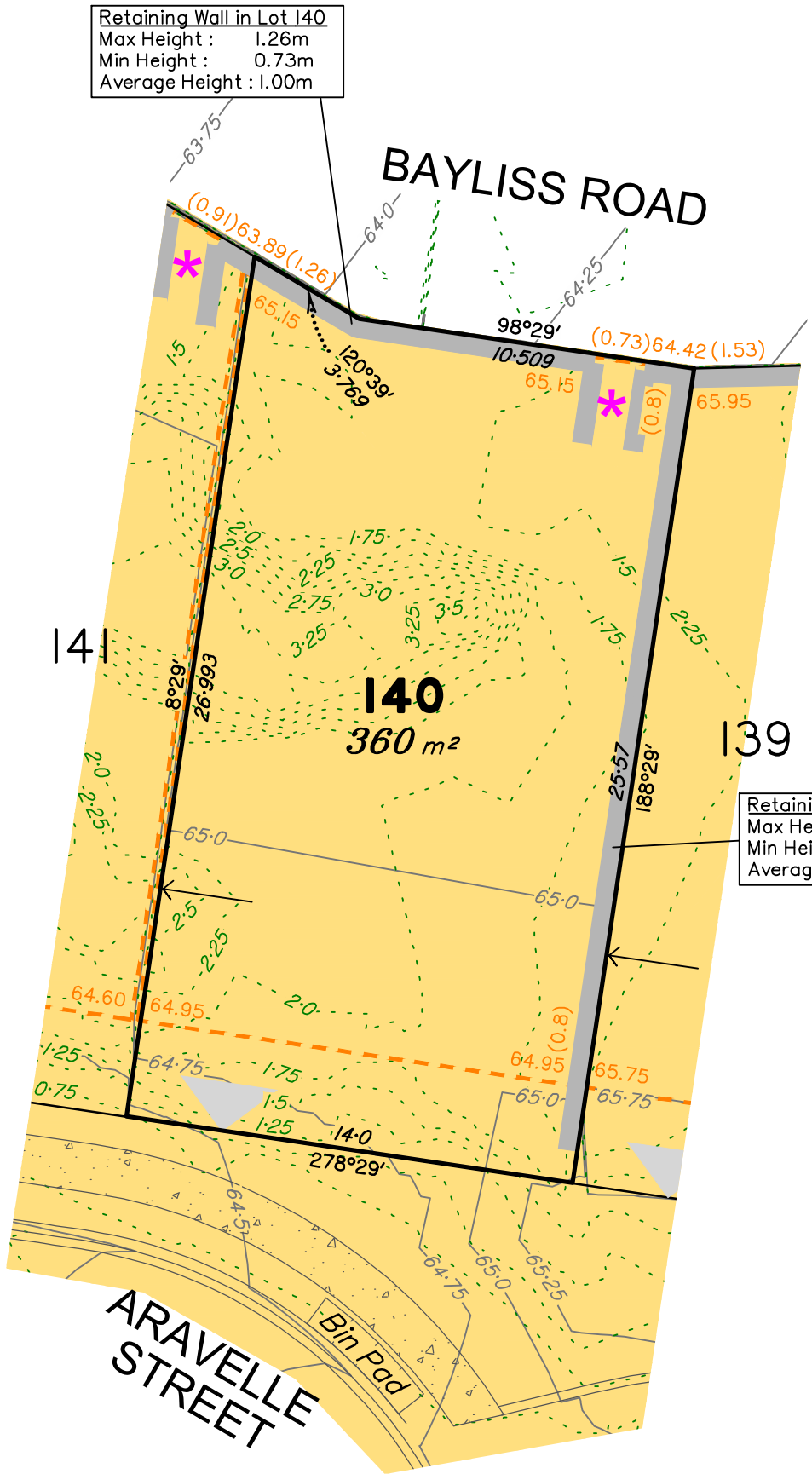
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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
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PLAN OF	
PROPOSED LOT 139 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_139





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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Silva

South Ripley

STAGE 1



ISSUES				CHECKED
NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	FS

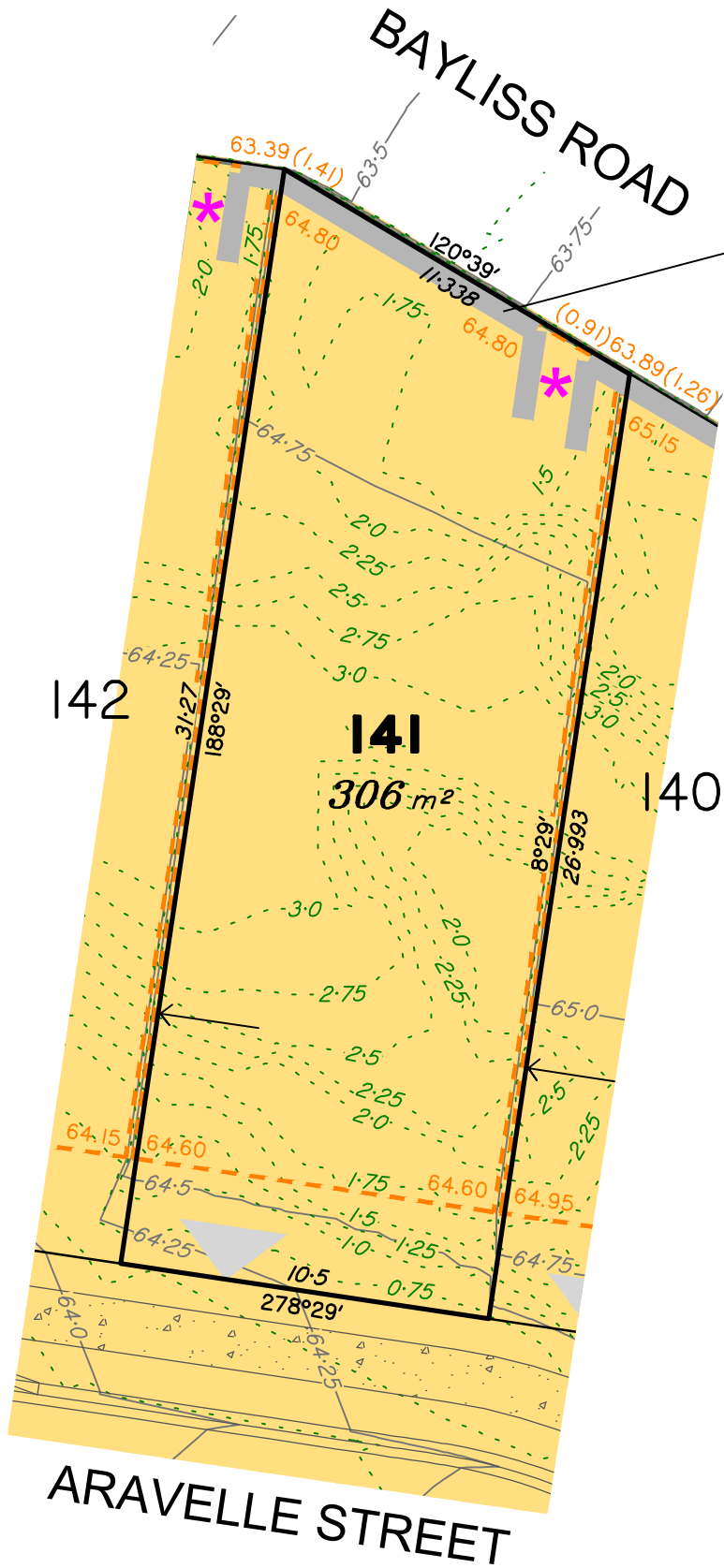
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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 140 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_140





Retaining Wall in Lot 141
Max Height : 1.41m
Min Height : 0.91m
Average Height : 1.16m

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location
- Proposed Stairs or Access Location

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Silva
South Ripley

STAGE 1



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
A	MS	07.08.2026	ORIGINAL ISSUE

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FS

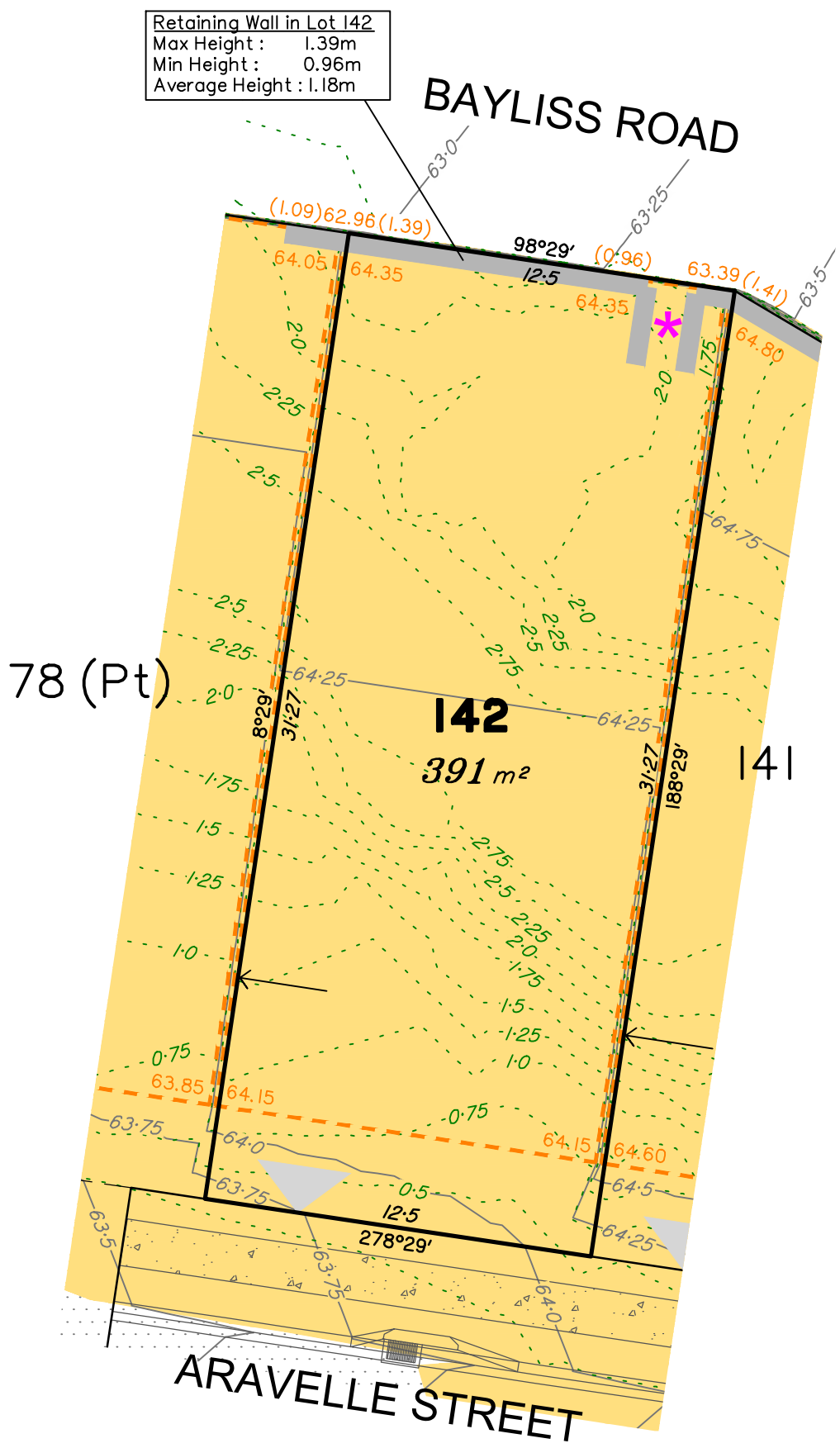
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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 141 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_141





LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location
- Proposed Stairs or Access Location

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NOTES

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Silva
South Ripley

STAGE 1



ISSUES			
NO.	DRAWN	DATE	DESCRIPTION
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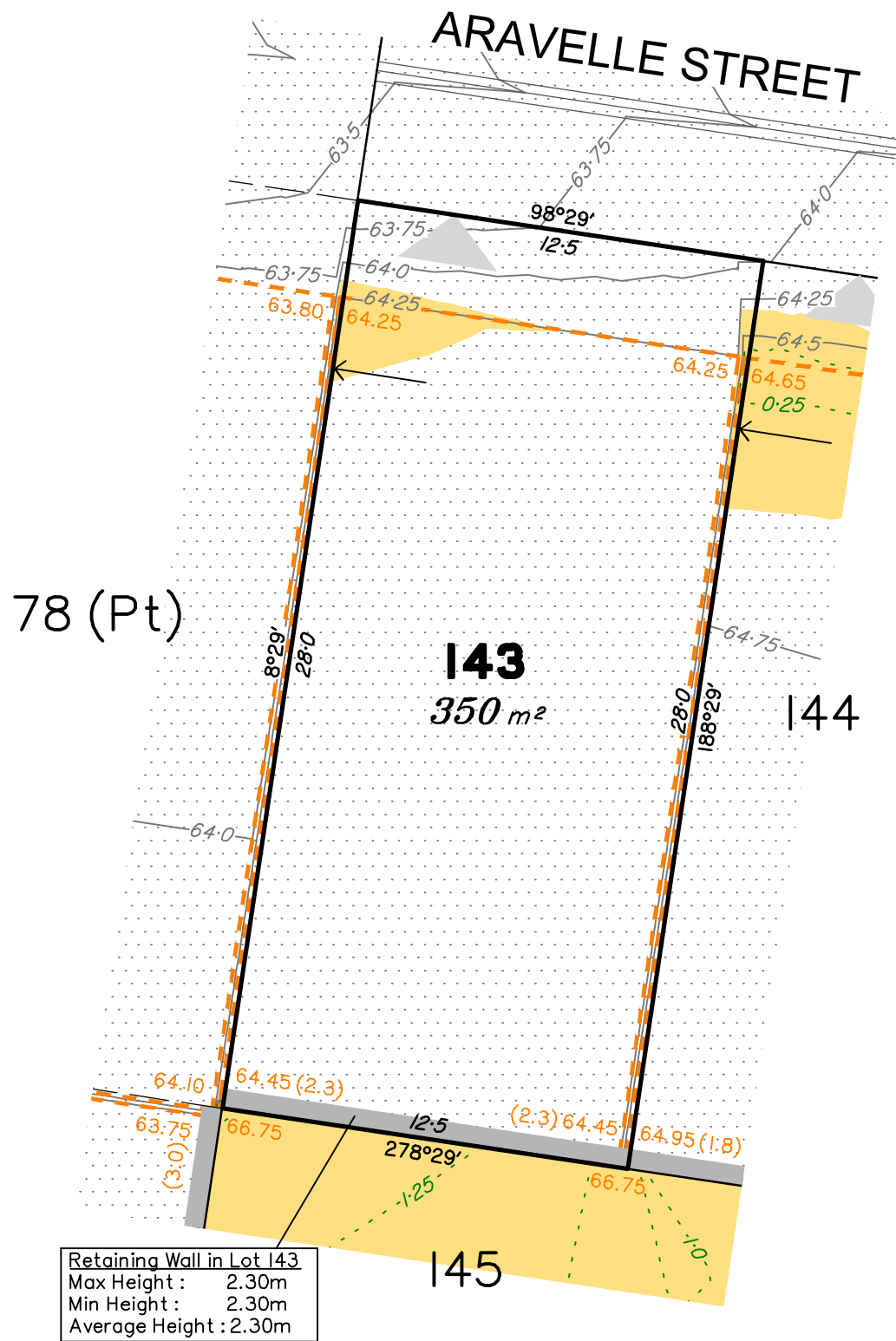
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RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	PROPOSED LOT 142 ON SP363602
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	DISCLOSURE PLAN
DRAWING NO.	12186 S 03 DP A_142





LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

Finished Design Surface Level
XX.XX

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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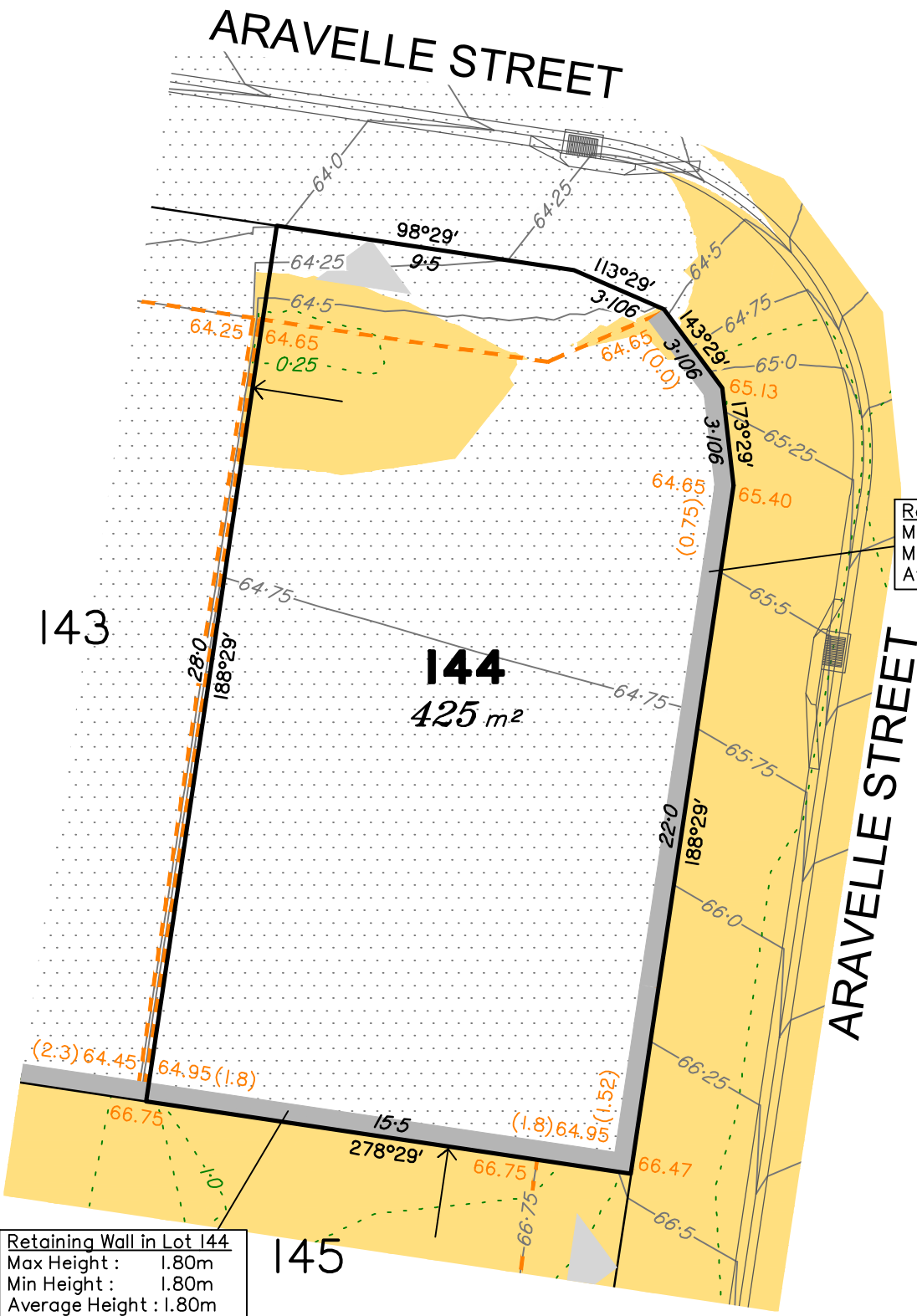
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Parts of Lot 143 are subject to areas of fill less than 0.25m in depth.

Silva

South Ripley

STAGE 1



Retaining Wall in Lot 144
Max Height : 1.52m
Min Height : 0.00m
Average Height : 0.76m

Retaining Wall in Lot 144
Max Height : 1.80m
Min Height : 1.80m
Average Height : 1.80m

LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

XX.XX
Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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Silva

South Ripley

STAGE 1



ISSUES				CHECKED
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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 144 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_144





ISSUES				CHECKED FS
NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	

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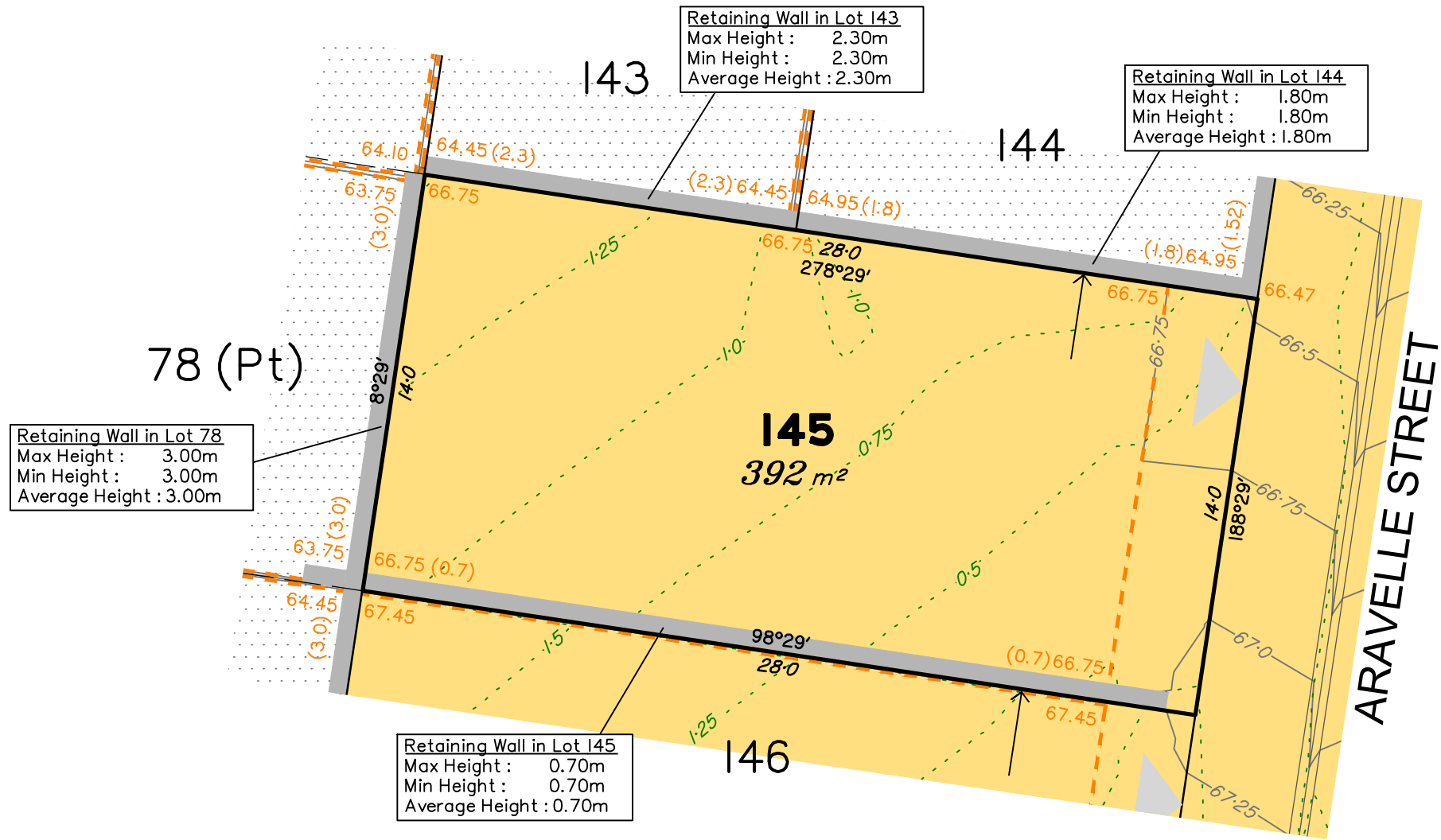
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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 145 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_145



STAGE 1



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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NOTES

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ISSUES				CHECKED FS
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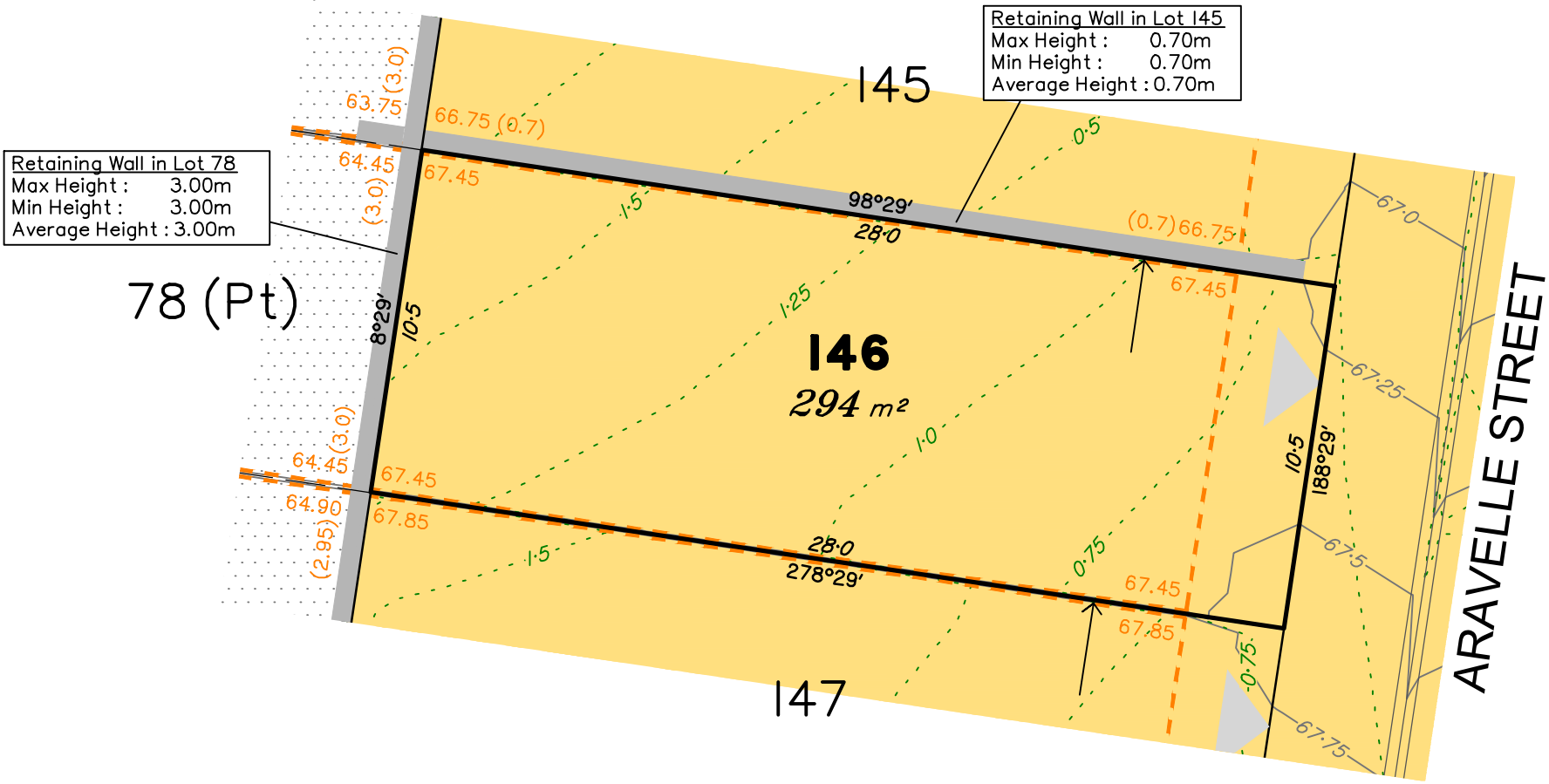
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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 146 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_146



STAGE 1



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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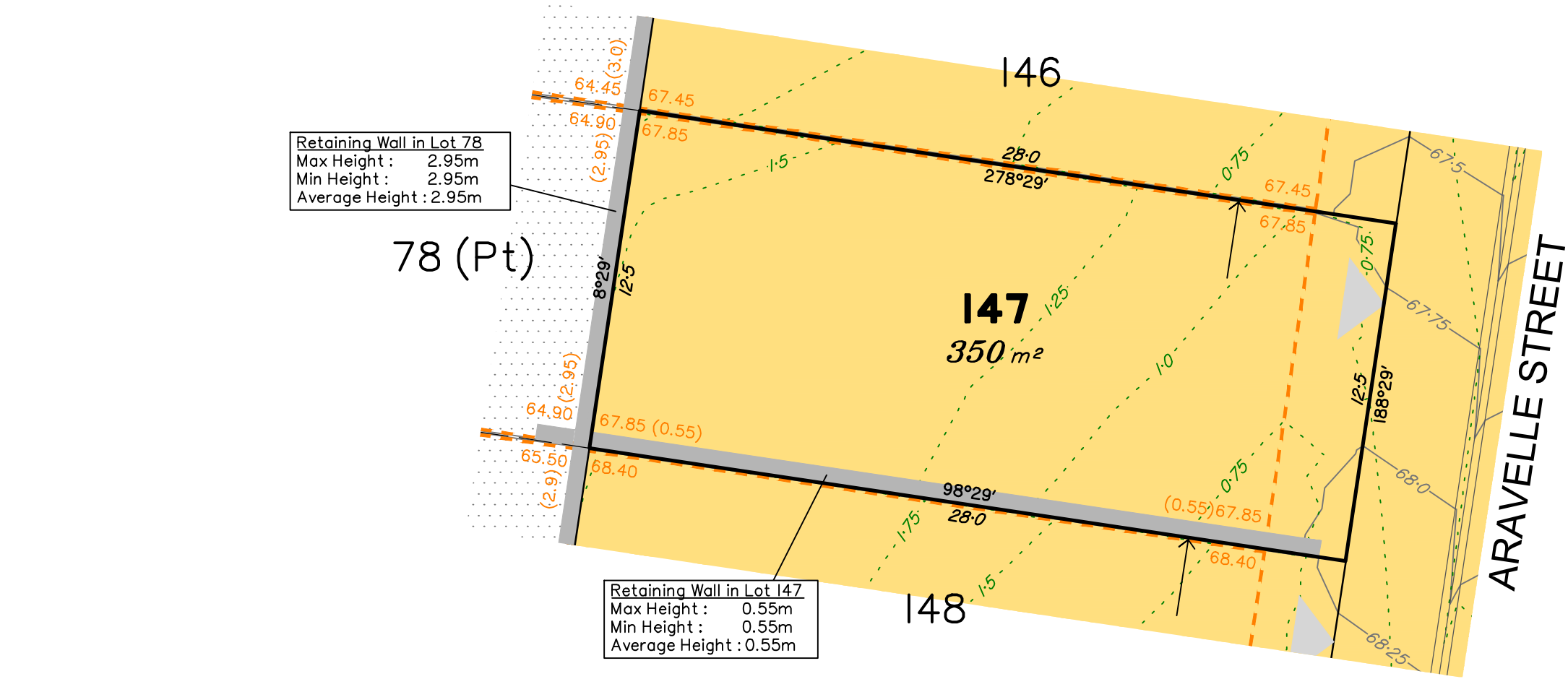
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ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 147 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_147



STAGE 1



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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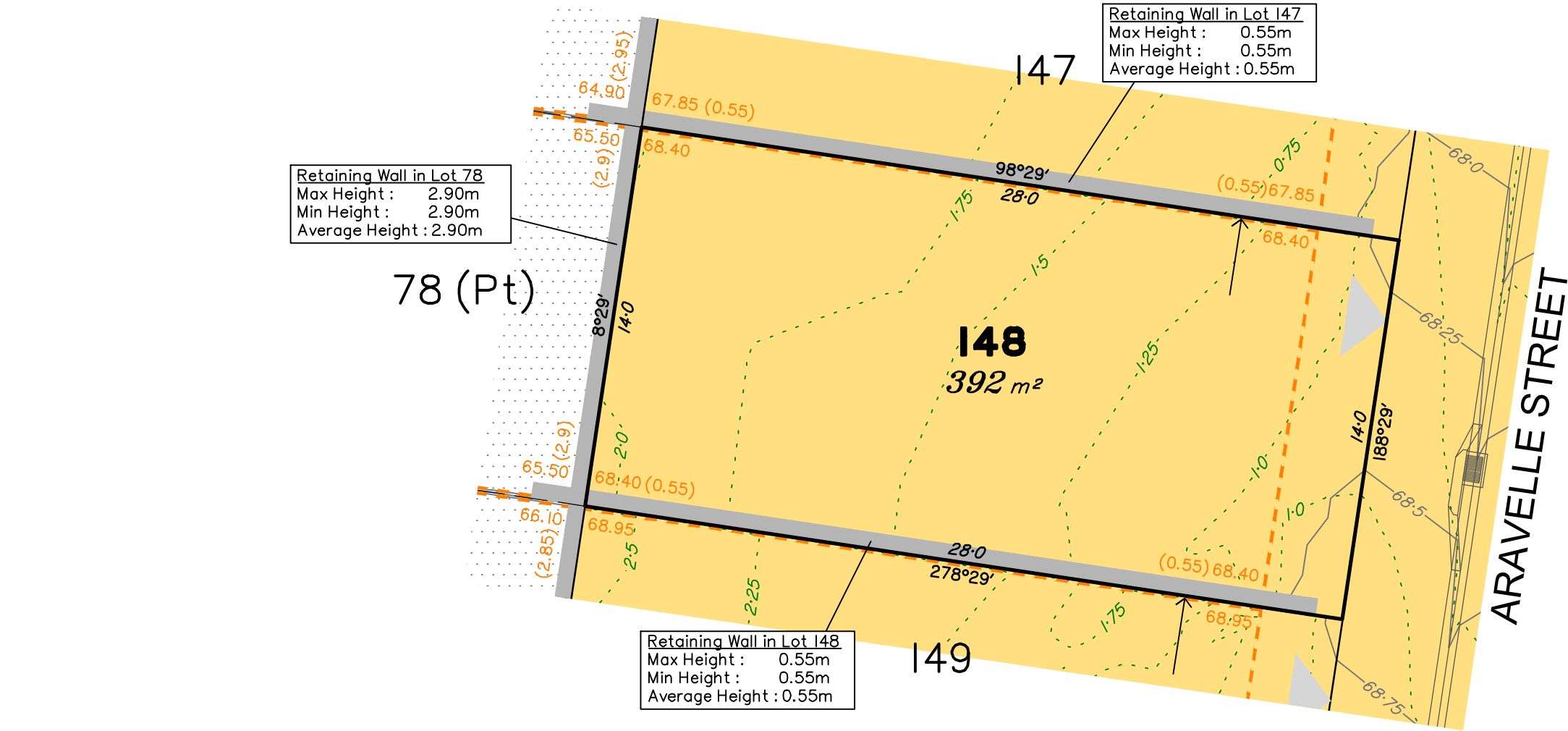
ISSUES				CHECKED FS
NO.	DRAWN	DATE	DESCRIPTION	
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LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 148 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE
DISCLOSURE PLAN
DRAWING NO.
12186 S 03 DP A_148



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location
- Proposed Stairs or Access Location

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STAGE 1

Silva

South Ripley



ISSUES			
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A	MS	07.08.2026	ORIGINAL ISSUE
			CHECKED FS

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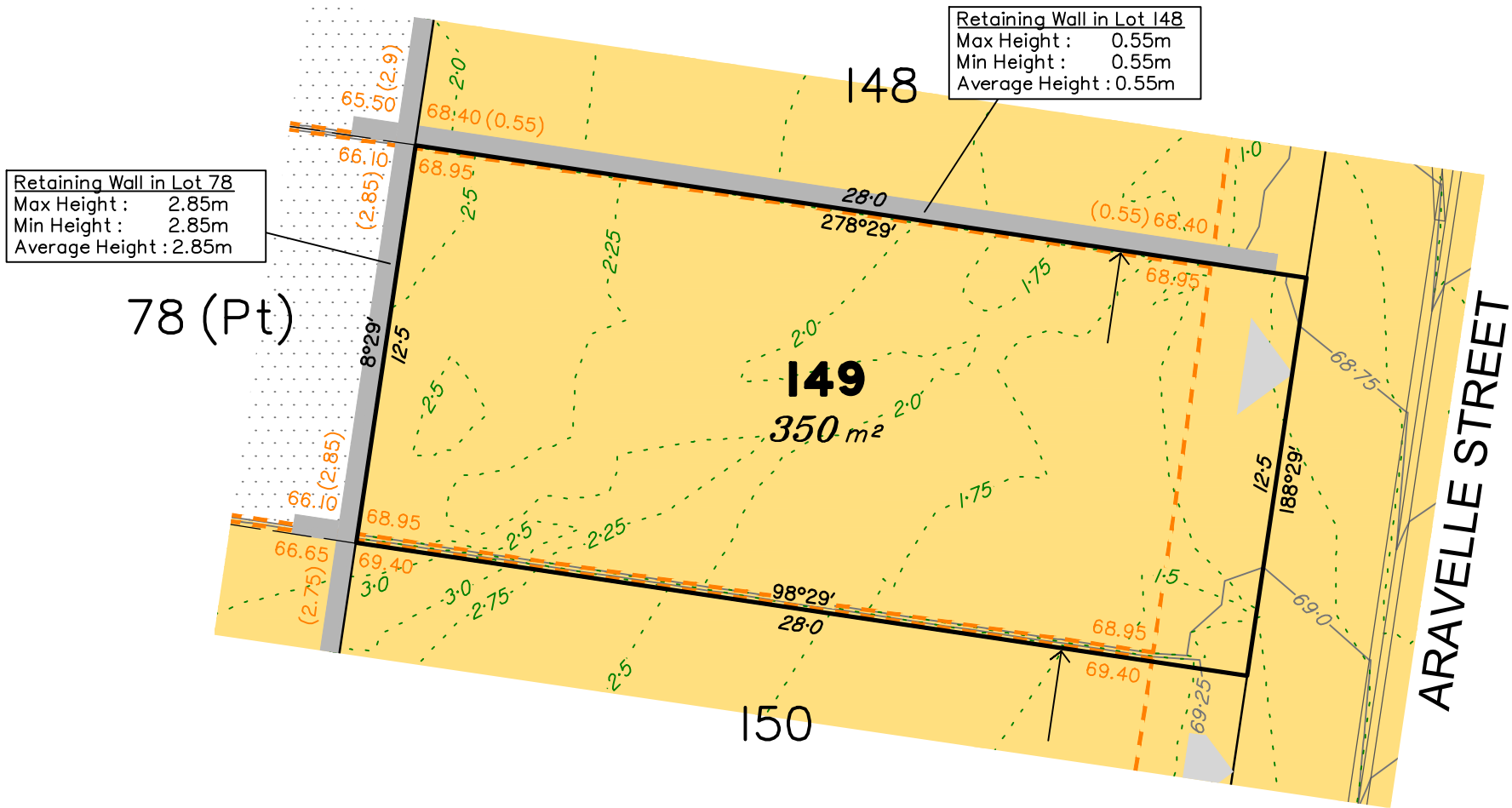
LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 149 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_149



STAGE 1



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

XX.XX
Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

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NOTES

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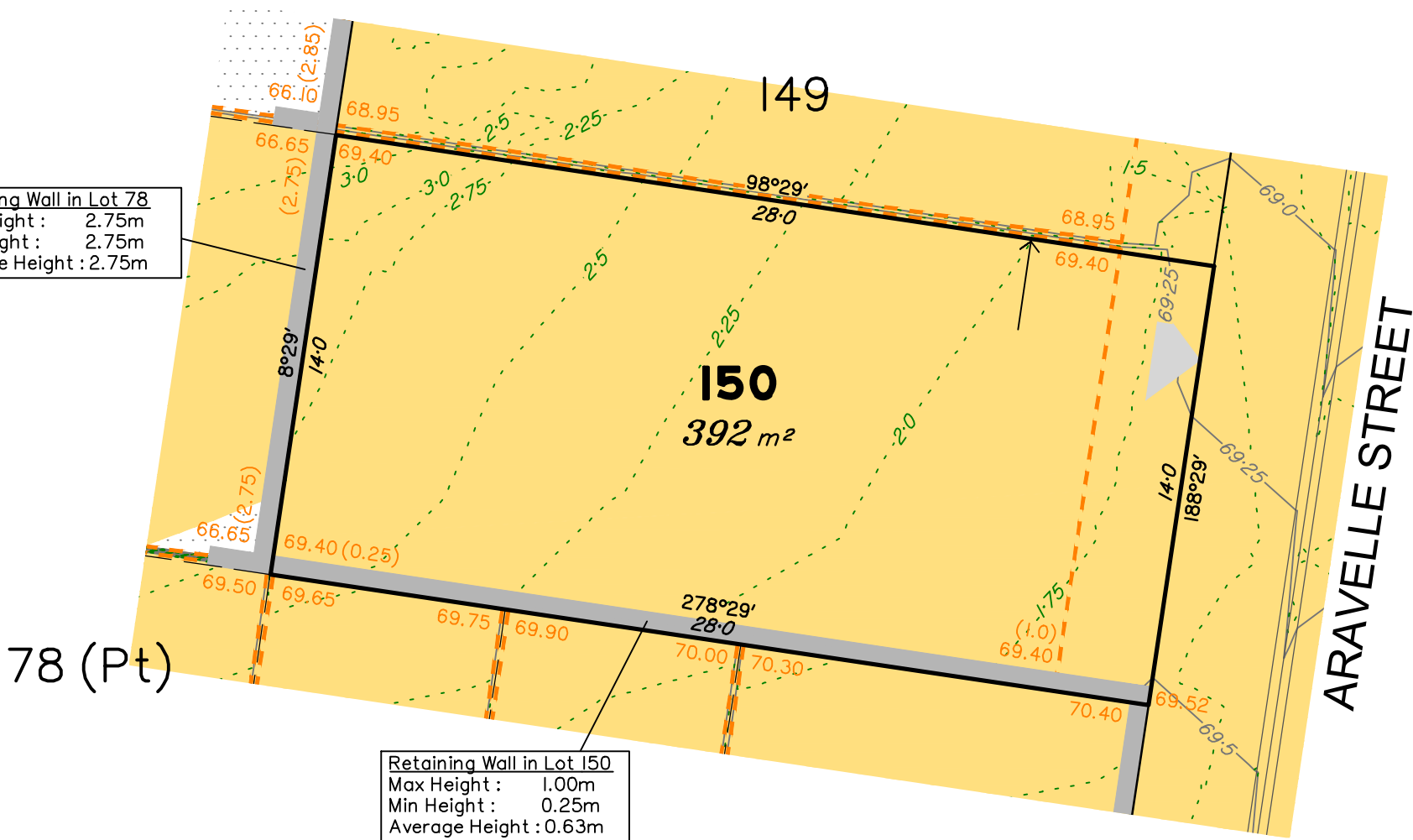
The current development approval was granted for this subdivision (7251/2018/MAPDA/A) by the Ipswich City Council (11/02/2026).

At the time of publication of this plan, the relevant authorities have not granted operational works approval for the proposed lot.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)

XX.XX
Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location

Proposed Stairs or Access Location

(Not all items in this legend may be relevant to the lot shown on this plan)

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Silva

South Ripley

STAGE 1



ISSUES				CHECKED
NO.	DRAWN	DATE	DESCRIPTION	
A	MS	07.08.2026	ORIGINAL ISSUE	FS

THIS DISCLOSURE PLAN IS PREPARED FOR THE SOLE PURPOSE OF SATISFYING THE DISCLOSURE REQUIREMENTS OF THE LAND SALES ACT AND **SHOULD NOT** BE USED FOR ANY OTHER PURPOSE, PARTICULARLY AS-CONSTRUCTED PURPOSES. THIS INFORMATION IS COMPILED FROM DESIGN PLANS ONLY, UNLESS OTHERWISE STATED, AND THEREFORE IS SUBJECT TO FINAL SURVEY AND CONSTRUCTION OF OPERATIONAL WORKS.

LEVEL DATUM:	AHD Der.
ORIGIN OF LEVELS:	PM201131
RL OF ORIGIN:	57.928
CONTOUR INTERVAL:	0.25m
SCALE	0 1 2 5m
1:200	

PLAN OF	
PROPOSED LOT 150 ON SP363602	
DESCRIBED AS:	PART OF LOT 78 ON SP308008
EXISTING TITLE REFERENCE:	51164425
LOCALITY:	SOUTH RIPLEY
LOCAL GOVERNMENT:	IPSWICH CITY COUNCIL

DRAWING TITLE	
DISCLOSURE PLAN	
DRAWING NO.	12186 S 03 DP A_150

